

## PLANNING COMMISSION – PROCEDURAL INFORMATION

The City of Minot Planning Commission generally meets on the last Monday of each month, prior to the City Council meetings, regarding zone change requests and other matters pertaining to planning within Minot and the two-mile extraterritorial zone. Recommendations made by the Planning Commission may be discussed at the City Council meetings prior to the City Council making any decision. Planning Commission members are volunteers that are appointed by the Mayor and confirmed by the City Council. All agenda items are considered a public hearing unless otherwise specified.

Additionally, the attached items are listed in a sequential and tentative agenda which will be commencing at 6:30 P.M. on the date of the Monday meeting. However, the Planning Commission reserves the right, and gives notice at this time, that the sequential order of this agenda may be modified by the Planning Commission in accordance with the complexity and anticipated time periods which may be involved in the determination of each agenda item. Therefore, all individuals planning to attend the Planning Commission meeting should arrive at the City Council Chambers by 6:30 P.M. in order to ensure their presence and opportunity to participate in the discussion of the applicable agenda item.

**The procedure in addressing the Planning Commission's Agenda for tonight's meeting will be as follows:**

1. Approval of prior Commission minutes.
2. The following format will be followed by the Commission with regard to the agenda items.
  - a. Each remaining agenda item will be individually read aloud and the Chairman will state the reported City staff recommendation, if any;
  - b. The Chairman will call for comments by those individuals in attendance who are in favor of the agenda item and will also allow the Planning Commission members to direct questions, if any, to those individuals addressing the Planning Commission;
  - c. The Chairman will call for comments by those individuals in attendance who are opposed to the agenda item and will also allow the Planning Commission members to direct questions, if any, to those individuals addressing the Planning Commission;
  - d. The Chairman may permit, in his discretion, brief rebuttal or rejoinder comments from individuals in attendance with regard to the pending issue and will allow the Planning Commission members to direct questions, if any, to those individuals addressing the Planning Commission;
  - e. The Chairman will terminate comments and public input, with the agenda item now being discussed solely by the Planning Commission members following a formal Motion (appropriately seconded) for resolution of the agenda item;
  - f. Following appropriate discussion by the Commission members, the Chairman will call for a roll call vote on the pending motion before the Commission;
  - g. The decision or recommendation of the Planning Commission, as determined by the roll call vote, shall be pronounced by the Chairman and also noted for the subsequent preparation of the Commission minutes; and
  - h. All remaining agenda items will be addressed in the foregoing manner until full completion of the written and approved Agenda for tonight's Meeting.

**PLANNING COMMISSION  
MEETING AGENDA  
JANUARY 30, 2017**

**CHAIR:** JOHN ZIMMERMAN

**VICE CHAIR:** TYLER NEETHER

**SUBJECT:** THE CITY PLANNING COMMISSION WILL MEET IN REGULAR SESSION AT 6:30 PM ON MONDAY, JANUARY 30, 2017, IN CITY COUNCIL CHAMBERS, 515 2<sup>nd</sup> AVENUE SW.

**ROLL CALL.**

**PLEDGE OF ALLEGIANCE.**

**APPROVAL OF NOVEMBER 28, 2016, MINUTES OF REGULAR MEETING.**

**1. Carlson's Addition, Lot 1; IRET 2nd Addition, Block 1, Lot 1; and Prairie Green 2nd Addition, Block 1, Lot 1; Block 17, Lots 1 & 2, and Block 18, Lot 9; and Rearrangement of Lots 5 & 8, Block 22, Prairie Green 2nd Addition, Lot 8**

Application by SRT Communications, Inc., represented by Seth Arndorfer, Dakota Carrier Network, for Conditional Use Permits to place six 35' mono-pole cell towers in the public right-of-way as follows: adjacent to Carlson's Addition, Lot 1; IRET 2nd Addition, Block 1, Lot 1; and Prairie Green 2nd Addition, Block 1, Lot 1; Block 17, Lots 1 & 2, and Block 18, Lot 9; and Rearrangement of Lots 5 & 8, Block 22, Prairie Green 2nd Addition, Lot 8.

The sites are located at 22nd Avenue and 10th Street SW, 31st Avenue and 16th Street SW, 28th Avenue and 10th Street SW, 31st Avenue and 13th Street SW, and 24th Avenue and 15th Street SW respectively.

**2. Highlander Estates Addition, Lot 13**

Application by Todd Berning, Magic Meadows, represented by Trevor Tharaldson, AE2S Engineering, to change the zone from R-4 (Planned Residential) District to C1 (Neighborhood Commercial) District on Highlander Estates Addition, Lot 13 for the purpose of accommodating a future office park.

Also, to amend the Future Land Use map from Downtown Mixed Use to Commercial on Highlander Estates Addition, Lot 13.

This property is located at the northwest corner of 37th Avenue and 23rd Street SW.

**3. Proposed Highlands at North Hill 3rd Addition, Block 1, Lots 1-6, Block 2, Lots 1-10, Block 3, Lots 1-7 and Lots 8A-10B**

Application by Vegas Capital Funding represented by Sean Weeks, Ackerman-Estvold Engineering, to subdivide Highlands at North Hill 3rd Addition, Block 2, Lots 1A-4B, Block 4, Lots 10A-18B, and Block 5, Lots 2A-8 into 21 lots to be known as Highlands at North Hill 3rd Addition, Block 1, Lots 1-6, Block 2, Lots 1-10, Block 3, Lots 1-7 and Lots 8A-10B.

Also, to change the zone from Residential Medium Density District (Two-family Residential District with a PUD (Planned Unit Development) overlay on proposed Highlands at North Hill 3rd Addition, Block 1, Lots 1-6, Block 2, Lots 1-10, Block 3, Lots 1-7 and Lots 8A-10B.

This property is located at the intersection of Granite Drive and Ivory Street NW.

**4. Jacks 3rd Addition, the south 323.95' of Lot 6 and all of Lot 8**

Application by Jay Lurmen, TJL LLC, represented by Michael [redacted] of Hight Construction, to change the zone from MH (Manufactured Home) District to M1 (Light Industrial) District on Jacks 3rd Addition, the south 323.95' of Lot 6 and all of Lot 8 for the purpose of accommodating an auto body business.

This property is located at 400 36th Avenue NW.

**5. Proposed Southeast Ridge Business Park 2nd Addition, Block 1, Lots 1-17, Block 2, Lots 1-7**

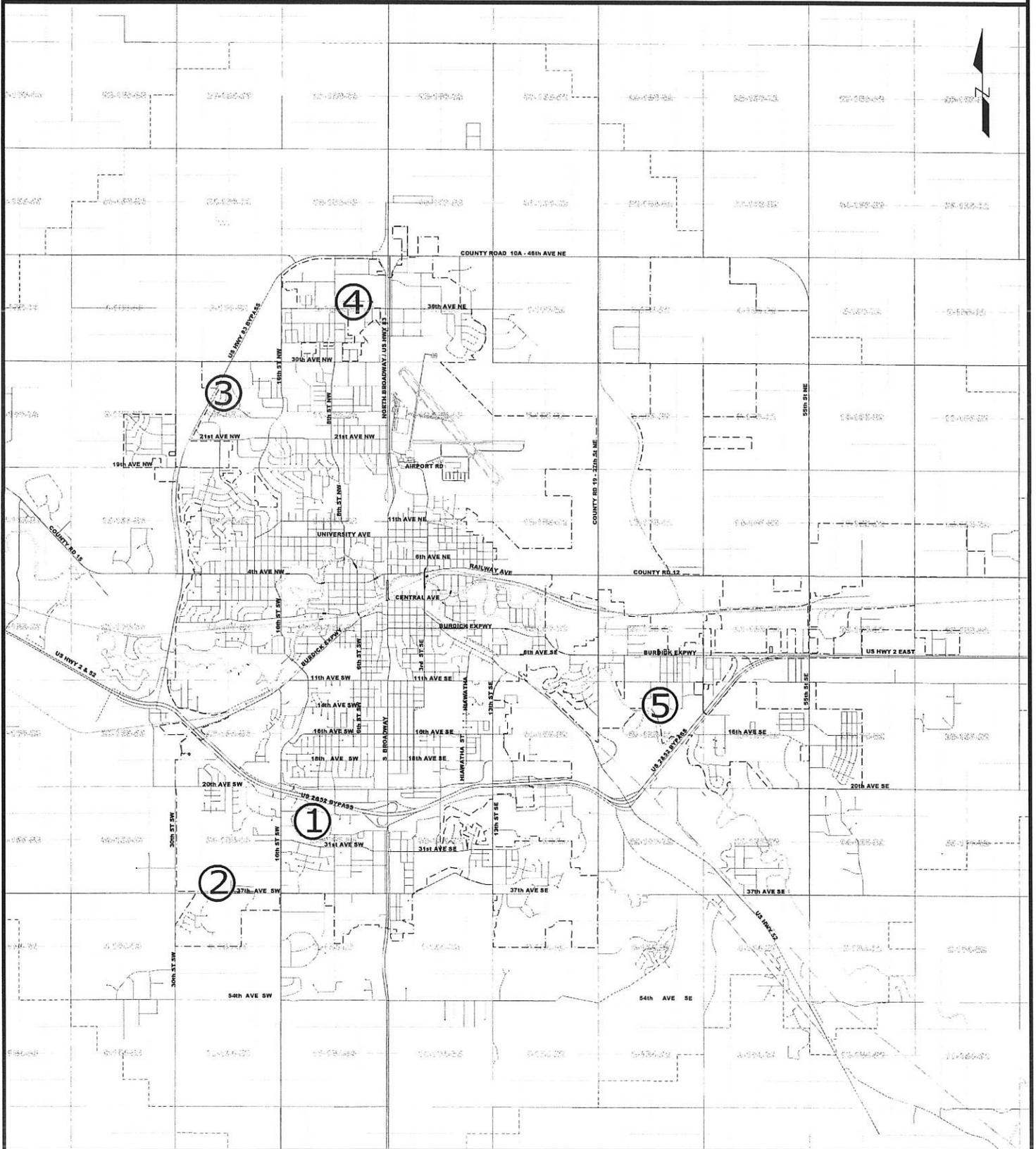
Application by Danny Schatz represented by Sean Weeks, Ackerman-Estvold Engineering, to subdivide Outlot 19 less Lots A-C, Section 29-155-82; Southeast Ridge Business Park Addition, Block 1, Lots 16-17; and Block 2 less the east 197.45' plus vacated 13th and all of vacated 15th Avenues southeast of Feist Subdivision of a portion of Gold Nugget Addition into 24 lots to be known as Southeast Ridge Business Park 2nd Addition, Block 1, Lots 1-17, Block 2, Lots 1-7.

Also, to change the zone from MH (Manufactured Home) to M1 (Light Industrial) District on proposed Southeast Ridge Business Park 2nd Addition, Block 1, Lots 1-17, Block 2, Lots 1-7.

Also, to amend the Future Land Use map from "Medium-density Residential" designation to "Industrial" on proposed Southeast Ridge Business Park 2nd Addition, Block 1, Lots 1-17, Block 2, Lots 1-7.

This property is located to the southeast of the intersection of 13th Avenue and 35th Street SE.

# VICINITY MAP for JANUARY 2017 PLANNING AGENDA



<b>Meeting Date:</b>	01/30/2017	<b>Item #: 1</b>
<b>Project #:</b>	8017-1.3	<b>Staff Recommendation: APPROVAL</b>
<b>Development Title:</b>	Conditional Use Permit for Six (6) Monopole Telecommunications Towers in the Vicinity of Dakota Square Mall Six Sites – Carlson’s Addition, Lot 1; IRET 2nd Addition, Lot 1; Prairie Green 2nd Addition, Block 1, Lot 1; Block 17, Lots 1 and 2; and Block 18, Lot 9; and	
<b>Current Legal Description:</b>	Rearrangement of Lots 5 and 8, Block 22, Prairie Green 2nd Addition, Lot 8	
<b>Address: (if applicable)</b>	See Location Map and Parcel Descriptions	
<b>Current Zoning:</b>	C2 and C4	<b>Proposed Zoning:</b> N/A
<b>Guided Use:</b>	Commercial	

**Applicant/Owner:** Steve Lysne / SRT Communications, Inc.  
3615 North Broadway, Minot ND 58703  
(701) 858-1200 stevedl@srttel.com

**Rep/Contractor:** Seth Arndorfer / Dakota Carrier Network  
4202 Coleman St, Bismarck ND 58503  
(701) 258-2124 SARndorfer@dakotacarrier.com

**Zoning Ordinance Ref:** Section 11-4; Conditional uses in C2  
Section 30-3; Conditional Use Permits  
Chapter 31; Towers

### PROJECT DESCRIPTION:

**REQUEST(S):** The applicant is requesting approval of a Conditional Use Permit (CUP) to locate six (6) monopole telecommunications towers thirty-five (35) feet in height within public street right-of-way at six (6) locations around Dakota Square Mall.

### EXECUTIVE SUMMARY AND CITY STAFF CONSIDERATIONS:

#### SUMMARY/CONDITIONS/ISSUE:

The applicant is requesting a CUP to locate these towers to improve capacity of the network for transmission of data and to improve signal strength within the mall building and other surrounding buildings. Wireless carriers are facing a need to provide faster and more reliable service, especially for data. Their response is to spread the capacity to meet demand by reducing the traffic on each original high-power macro cell site (tower) by building a number of smaller sites (monopoles), each serving only a portion of the original area thereby reducing the amount of traffic on any given site. There are six (6) monopoles proposed, all of which are strategically sited to be on public right-of-way as opposed to private property. The antennas and equipment mounted on the poles is at various heights and is compact. The poles generally blend into the streetscape

among the myriad of other utility and lighting poles. The height of the proposed monopoles is thirty-five (35) feet which is less than a standard street light pole at forty (40) feet. The exact location of tower # 3 may need to be adjusted slightly to avoid conflicts with an existing sanitary sewer line. The applicant is aware of this and coordinating the location with the Engineering Department.

City staff is in support of this CUP application subject to the conditions listed below. The Planning Commission and City Council may add any further conditions that are warranted.

**FINDINGS OF FACT:**

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**Finding of Facts:**

1. The applicant has submitted a complete application for a Conditional Use Permit as required by the zoning ordinance.
2. If approved, the permit is valid for six (6) separate monopoles at six (6) different locations as described in the submittal.
3. The applicant has met with City Staff to coordinate the final locations on City street right-of-way and to avoid any location conflicts.
4. If approved, the CUP lists four (4) conditions that the applicant must abide by.
5. There is no expiration date associated with this CUP permit.

**Future Considerations:**

The City can expect to see many more of these requests as multiple wireless carriers continue to add sites to improve service. The Planning Department will be researching alternative approaches, such as co-location of more than one user on a single pole to avoid a proliferation of such structures on the public right-of-way. Other considerations may be limitations in residential areas and minimum separation distances between such wireless facilities.

**Conditions (if approved):**

1. Poles must be a minimum of 3 feet behind the curb (back of curb to face of pole). Poles can be no closer than 8 feet from the property line.
2. Dakota Carrier Network must abide and conform to all requirements in the franchise agreement with SRT. SRT must assign rights to Dakota Carrier Network. Or, Dakota Carrier Network must apply for an encroachment permit from the city council for each location requested.
3. Applicable building permits and right of way permits must be applied for and approved before construction can begin.
4. Applicant must provide an engineer's report and comply with all structural, electrical, and safety codes.
5. As-built locations must be provided to the City after construction.

**DEVELOPMENT SUMMARY CHART:**

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<b>Site Area:</b>	N/A
<b>Building Area:</b>	N/A
<b>Green Area Required:</b>	N/A
<b>Green Area Proposed:</b>	N/A
<b>Parking Required:</b>	N/A
<b>Parking/ Loading Proposed:</b>	N/A

## PLANNING DEPARTMENT CONSIDERATIONS

### CURRENT ZONING, LAND USES & RELATIONSHIP TO THE COMPREHENSIVE PLAN:

The monopole locations under consideration are currently zoned Commercial C2 or C4 and these locations are guided on the Future Land Use Plan as "Commercial." Sites 1, 5 and 6 are within the mall property but on public right-of-way. The mall property is zoned C4. Sites 2, 3 and 4 are on property zoned C2. R3B zoning is adjacent to the east side of site 2. (See map below.) The proposed uses would be in general compliance with the Comprehensive Plan once the Conditional Use Permit is issued.



### BUILDING MATERIALS AND ARCHITECTURE / LANDSCAPING AND BUFFER SCREENING PLANS:

N/A

### PLANNED UNIT DEVELOPMENT (PUD) DETAIL AND DEVIATIONS:

C4 zoning standards have been replaced by C2 and PUD. The application for a CUP is suitable to meet the content requirements for a PUD.

### SIGNAGE:

N/A

### PUBLIC LAND DEDICATION:

No new dedication of public right-of-way, but the poles will be located within existing public right-of-way.

**ENGINEERING AND PUBLIC WORKS DEPARTMENT CONSIDERATIONS:**

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**TRAFFIC AND TRANSPORTATION PLAN/REQUIREMENTS:**

N/A

**STORM WATER MANAGEMENT PLAN/REQUIREMENTS:**

N/A

**EROSION CONTROL PLAN/REQUIREMENTS:**

N/A

**CITY AND RURAL UTILITY PLAN/REQUIREMENTS:**

N/A

**SIDEWALK REQUIREMENTS:**

N/A

MINOT SMALL CELL  
PROJECT AREA ZONING MAP



**City of Minot**  
Engineering Department

Accuracy of this map is  
guaranteed by the City Planning  
Dept. (09/28/16)

Scale: 1" = 150'

**ZONING**

RESIDENTIAL	COMMERCIAL	INDUSTRIAL	PUBLIC
MH1 Manufactured RA Agricultural R1 Single Family R2 Single Family R3 Two Family R4 Medium Density R5 Multi Family R6 Multi Family R7 Townhouse R8 High Density R9 Planned	C1 Limited C2 General C3 General C4 Planned C5 Planned C6 Planned C7 Planned C8 Planned C9 Planned C10 Planned C11 Planned C12 Planned C13 Planned C14 Planned C15 Planned C16 Planned C17 Planned C18 Planned C19 Planned C20 Planned C21 Planned C22 Planned C23 Planned C24 Planned C25 Planned C26 Planned C27 Planned C28 Planned C29 Planned C30 Planned C31 Planned C32 Planned C33 Planned C34 Planned C35 Planned C36 Planned C37 Planned C38 Planned C39 Planned C40 Planned C41 Planned C42 Planned C43 Planned C44 Planned C45 Planned C46 Planned C47 Planned C48 Planned C49 Planned C50 Planned C51 Planned C52 Planned C53 Planned C54 Planned C55 Planned C56 Planned C57 Planned C58 Planned C59 Planned C60 Planned C61 Planned C62 Planned C63 Planned C64 Planned C65 Planned C66 Planned C67 Planned C68 Planned C69 Planned C70 Planned C71 Planned C72 Planned C73 Planned C74 Planned C75 Planned C76 Planned C77 Planned C78 Planned C79 Planned C80 Planned C81 Planned C82 Planned C83 Planned C84 Planned C85 Planned C86 Planned C87 Planned C88 Planned C89 Planned C90 Planned C91 Planned C92 Planned C93 Planned C94 Planned C95 Planned C96 Planned C97 Planned C98 Planned C99 Planned C100 Planned	M1 Light Industrial M2 Heavy Industrial	P Public P1 Public P2 Public P3 Public P4 Public P5 Public P6 Public P7 Public P8 Public P9 Public P10 Public P11 Public P12 Public P13 Public P14 Public P15 Public P16 Public P17 Public P18 Public P19 Public P20 Public P21 Public P22 Public P23 Public P24 Public P25 Public P26 Public P27 Public P28 Public P29 Public P30 Public P31 Public P32 Public P33 Public P34 Public P35 Public P36 Public P37 Public P38 Public P39 Public P40 Public P41 Public P42 Public P43 Public P44 Public P45 Public P46 Public P47 Public P48 Public P49 Public P50 Public P51 Public P52 Public P53 Public P54 Public P55 Public P56 Public P57 Public P58 Public P59 Public P60 Public P61 Public P62 Public P63 Public P64 Public P65 Public P66 Public P67 Public P68 Public P69 Public P70 Public P71 Public P72 Public P73 Public P74 Public P75 Public P76 Public P77 Public P78 Public P79 Public P80 Public P81 Public P82 Public P83 Public P84 Public P85 Public P86 Public P87 Public P88 Public P89 Public P90 Public P91 Public P92 Public P93 Public P94 Public P95 Public P96 Public P97 Public P98 Public P99 Public P100 Public

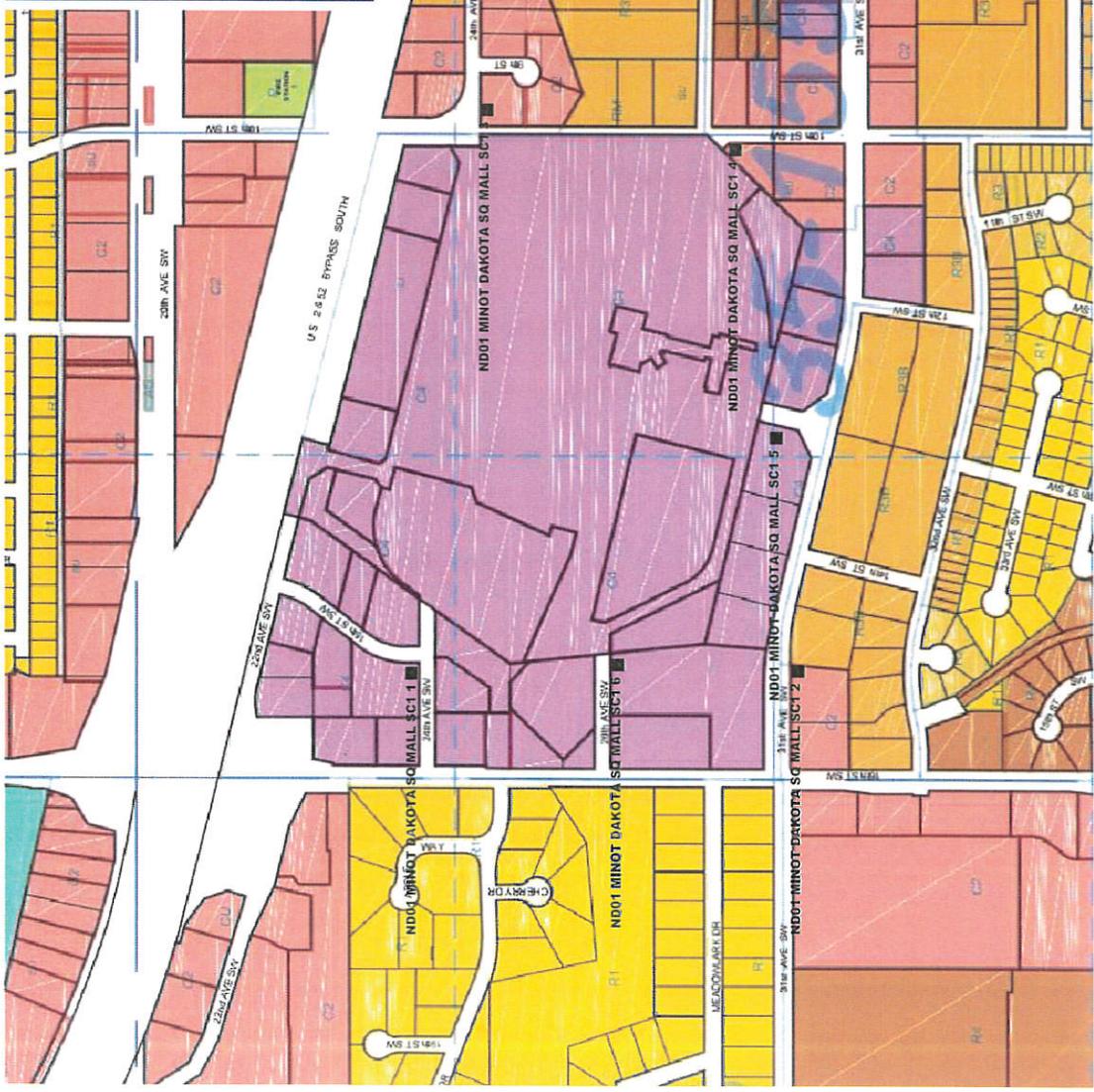
**AGRICULTURAL**

AG1 Agricultural AG2 Agricultural AG3 Agricultural AG4 Agricultural AG5 Agricultural AG6 Agricultural AG7 Agricultural AG8 Agricultural AG9 Agricultural AG10 Agricultural AG11 Agricultural AG12 Agricultural AG13 Agricultural AG14 Agricultural AG15 Agricultural AG16 Agricultural AG17 Agricultural AG18 Agricultural AG19 Agricultural AG20 Agricultural AG21 Agricultural AG22 Agricultural AG23 Agricultural AG24 Agricultural AG25 Agricultural AG26 Agricultural AG27 Agricultural AG28 Agricultural AG29 Agricultural AG30 Agricultural AG31 Agricultural AG32 Agricultural AG33 Agricultural AG34 Agricultural AG35 Agricultural AG36 Agricultural AG37 Agricultural AG38 Agricultural AG39 Agricultural AG40 Agricultural AG41 Agricultural AG42 Agricultural AG43 Agricultural AG44 Agricultural AG45 Agricultural AG46 Agricultural AG47 Agricultural AG48 Agricultural AG49 Agricultural AG50 Agricultural AG51 Agricultural AG52 Agricultural AG53 Agricultural AG54 Agricultural AG55 Agricultural AG56 Agricultural AG57 Agricultural AG58 Agricultural AG59 Agricultural AG60 Agricultural AG61 Agricultural AG62 Agricultural AG63 Agricultural AG64 Agricultural AG65 Agricultural AG66 Agricultural AG67 Agricultural AG68 Agricultural AG69 Agricultural AG70 Agricultural AG71 Agricultural AG72 Agricultural AG73 Agricultural AG74 Agricultural AG75 Agricultural AG76 Agricultural AG77 Agricultural AG78 Agricultural AG79 Agricultural AG80 Agricultural AG81 Agricultural AG82 Agricultural AG83 Agricultural AG84 Agricultural AG85 Agricultural AG86 Agricultural AG87 Agricultural AG88 Agricultural AG89 Agricultural AG90 Agricultural AG91 Agricultural AG92 Agricultural AG93 Agricultural AG94 Agricultural AG95 Agricultural AG96 Agricultural AG97 Agricultural AG98 Agricultural AG99 Agricultural AG100 Agricultural
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**SECTION LINE**  
QUARTER SECTION  
1/16 SECTION

**2 MILE LIMIT**  
**CITY LIMITS**  
**RAILROAD TRACKS**

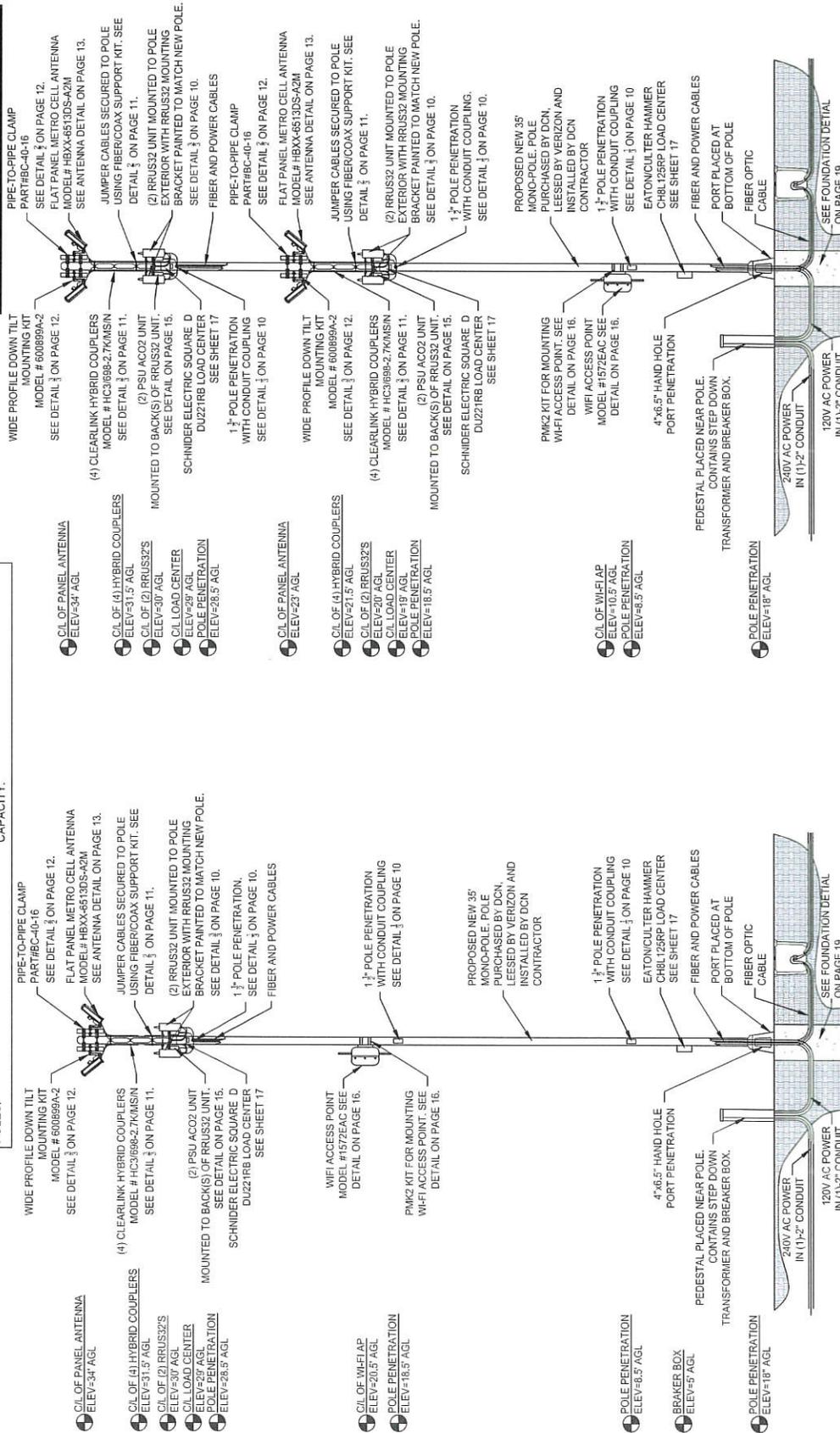
Date Created: October 28, 2014



NOTES:

- (1). THIS DRAWING IS FOR EXHIBIT AND LAYOUT PURPOSES ONLY. TYPICAL INSTALLATIONS SHOWN.
- (2). THE POLE CAN BE AN EXISTING LIGHT POLE, OR A NEW POLE PAINTED TO MATCH EXISTING POLES.
- (3). ANTENNA HEIGHT: MIN - 25 FEET, MAX - 55 FEET.
- (4). ALL ANTENNAS AND RADIOS CAN BE PAINTED TO MATCH THE POLE AND/OR THE EXISTING SURROUNDINGS.
- (5). NO ANTENNA OR LINE WORK TO BEGIN PRIOR TO CONFIRMATION OF ADEQUATE TOWER CAPACITY.

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1 TYPICAL POLE WITH 1 CARRIER  
2 NOT TO SCALE

2 TYPICAL POLE WITH MAX LOADING  
2 NOT TO SCALE

**DCN**  
Dakota Carrier  
NETWORK

3801 South Park Drive  
Bismarck, ND 58101  
Phone: 701.261.4333  
Fax: 701.261.4333  
www.dcn.net

Exchange	MINOT
County	WARD
Township	
Range	
Scale	NTS
Map Number	
RUS Design. No.	
DC Number	
Equipment	
Assessment	
Assessment	
Assessment	
Assessment	
Project No.	1816184
Shig Sh File Name	REV A SC11
Drawn By	DS
Checked By	
Construction Observer	
Record Drawing Date	11/17/16
Revised By	
Revision Date	

MINOT SMALL CELL  
TYPICAL POLE ELEVATION

**KLJ**

1505 California St.  
Bismarck, ND 58103  
Phone: 701.261.8981  
www.klj.com

Sheet Number **9**

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2401 Grand Plains Drive South  
 Fargo, ND 58103  
 Fax: 701.238.1160  
 www.dakotacARRIER.com

Exchange: MINOT  
 County: WARD  
 Section: 17-700  
 Township: 17-700  
 Range: 17-700

Map Number: RUS Designation Number  
 W.O. Number: GIS Number  
 Easement: Easement  
 Easement: Easement  
 Easement: Easement

Project No: 1818184  
 S/W File Name: LOC\_ALL  
 L/Date File Name: DS  
 Drafted By: DS  
 Drafted Date: 09/09/16  
 Construction Observer  
 Record Drawing By  
 Revision Date

MINOT SMALL CELL  
 PROJECT AREA STREET OVERLAY

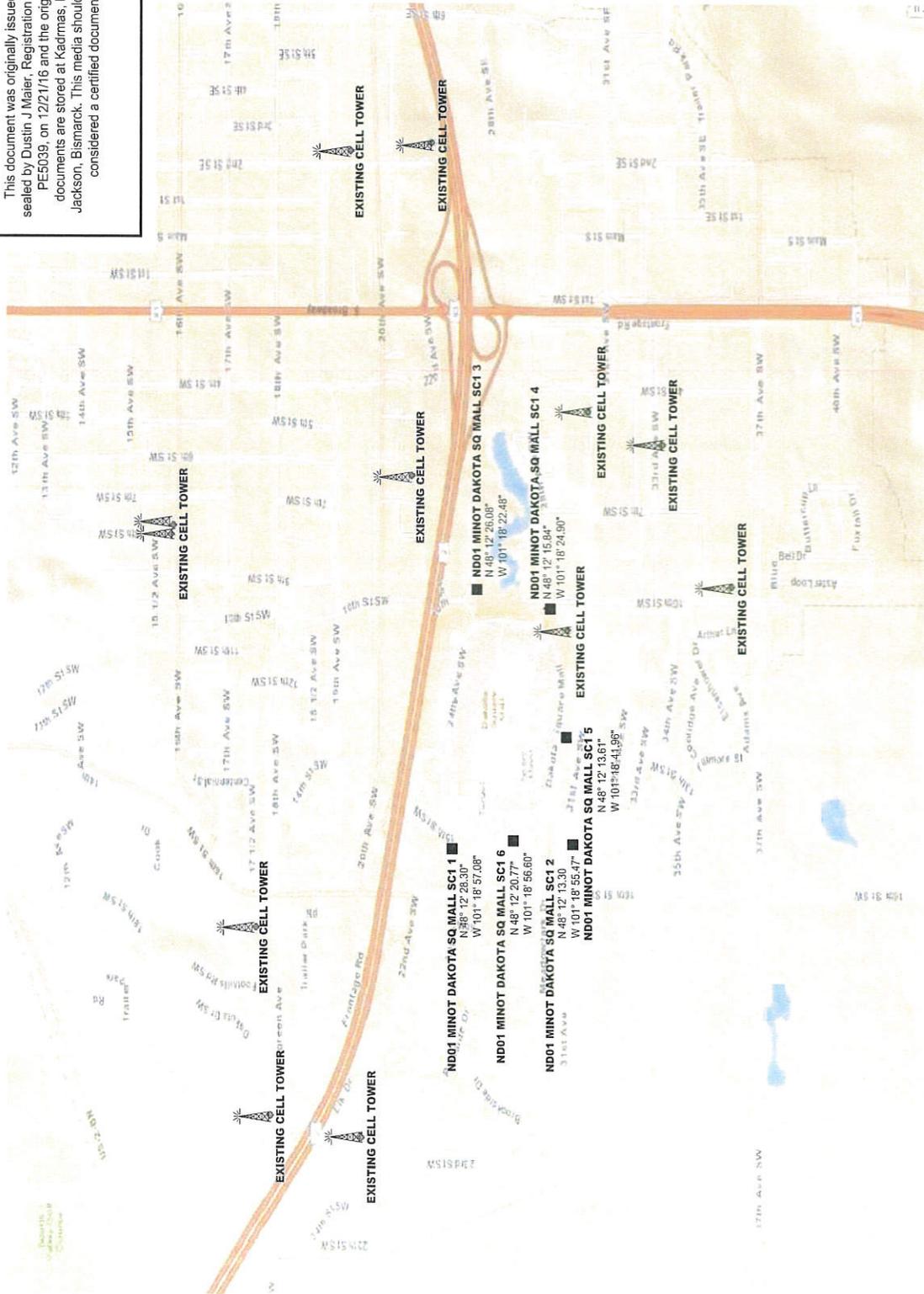


605 CALLEMAN ST  
 Bismarck, ND 58503-0431  
 Fax: 701.238.8855  
 www.klj.com

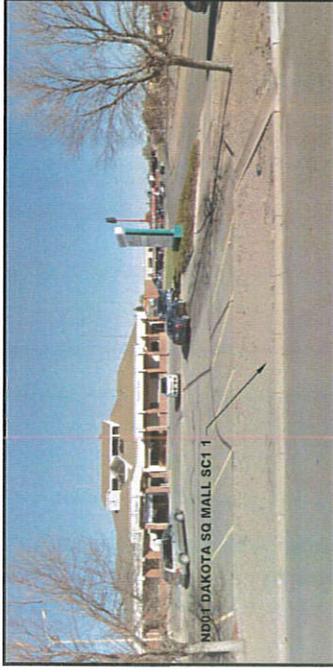
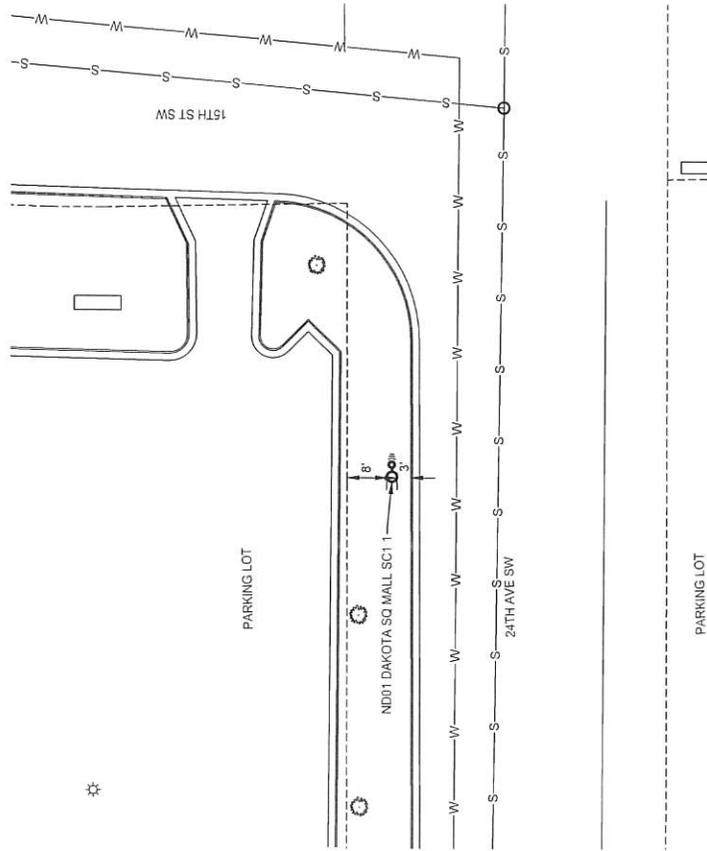


Sheet Number: 2  
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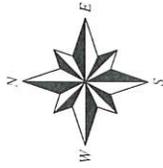
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NODE SITE NORTH VIEW

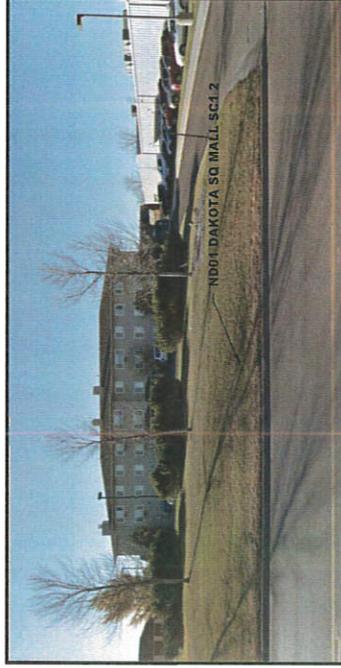
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ND01-DAKOTA SQ MALL SC1 1	N 48°12'26.30"	W 101°18'57.08"	1743'

LEGEND	
	LIGHT POLE/STREET LIGHT
	POWER POLE
	FIRE HYDRANT
	GATE VALVE
	SANITARY MANHOLE
	STORM MANHOLE
	WARNING SIGN
	CATCH BASIN
	POST
	SIGN
	ELEC BOX
	PEDESTAL
	UTILITY MANHOLE
	HANDHOLE
	SMALL CELL NODE SITE
	TREE
	FENCE
	WATER LINE
	SANITARY LINE
	STORM LINE
	STREET ROW
	UTILITY EASEMENT



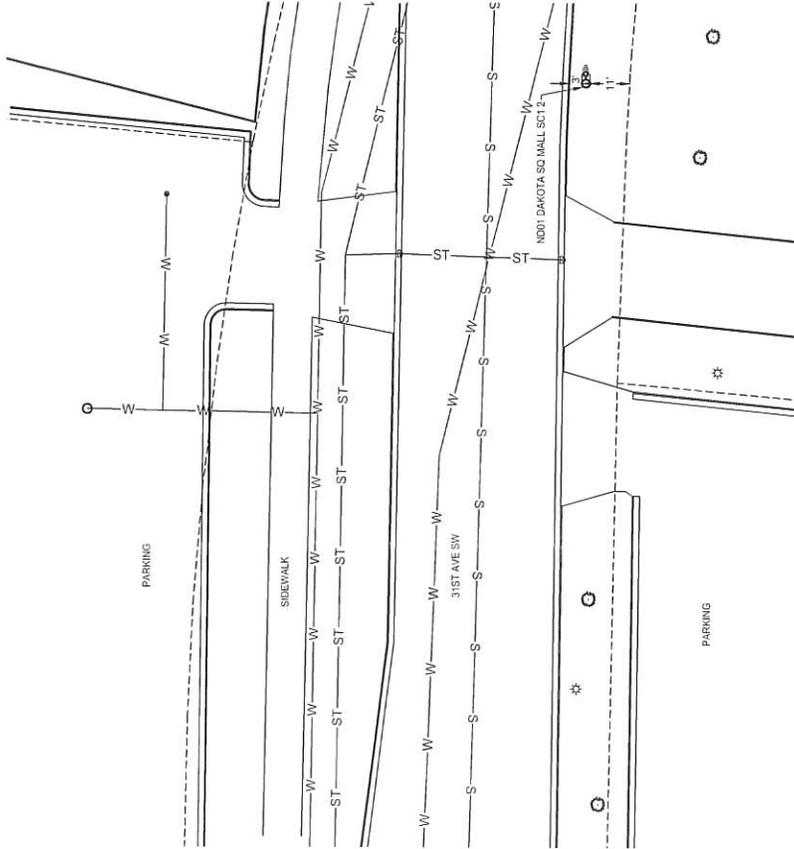


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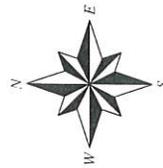


NODE SITE SOUTH VIEW

NODE LAT/LONG DATA			
POLE ID	LATITUDE (NAD83)	LONGITUDE (NAD83)	ELEVATION (NAVD88)
ND01 DAKOTA SQ MALL SCT 2	N 48°12'13.30"	W 101°11'55.47"	1757'

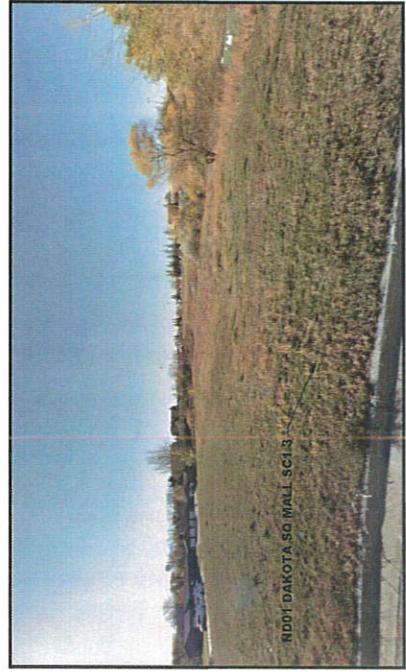


LEGEND	
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	FIRE HYDRANT
	GATE VALVE
	SANITARY MANHOLE
	STORM MANHOLE
	WARNING SIGN
	CATCH BASIN
	POST
	SIGN
	ELEC BOX
	PEDESTAL
	UTILITY MANHOLE
	HANDHOLE
	SMALL CELL NODE SITE
	TREE
	FENCE
	WATER LINE
	SANITARY LINE
	STORM LINE
	STREET ROW
	UTILITY EASEMENT



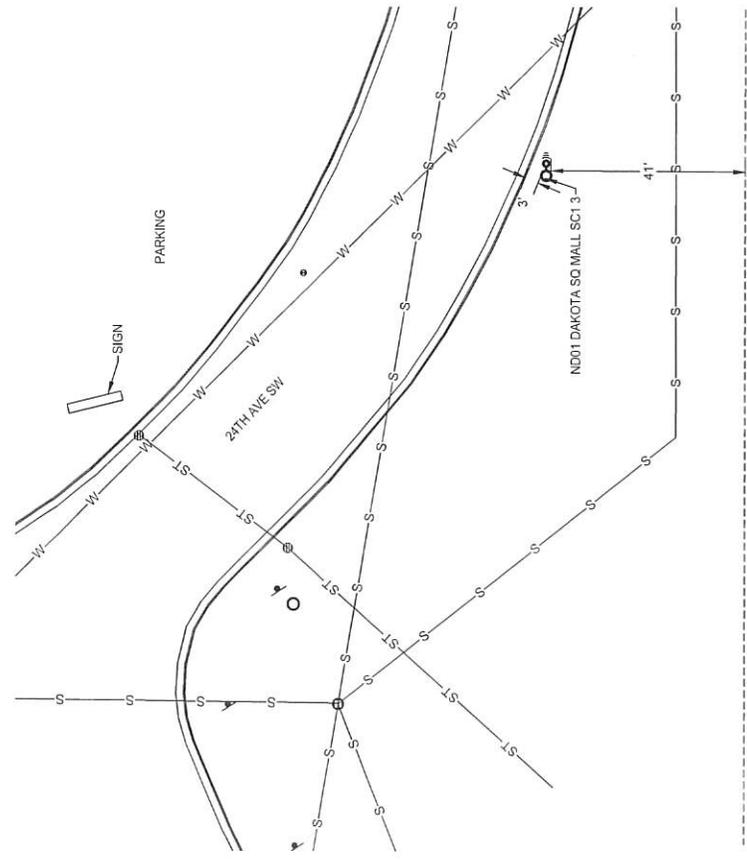


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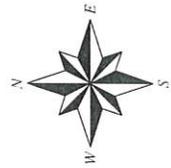


NODE SITE SOUTH VIEW

POLE ID	LATITUDE (NAD83)	LONGITUDE (NAD83)	ELEVATION (NAVD88)
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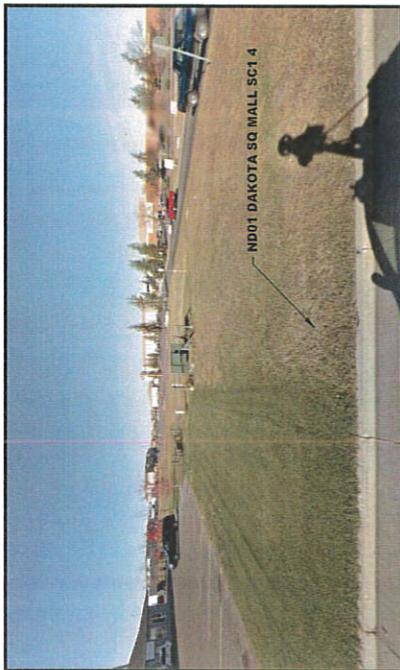


LEGEND	
	LIGHT POLE/STREET LIGHT
	POWER POLE
	FIRE HYDRANT
	GATE VALVE
	SANITARY MANHOLE
	STORM MANHOLE
	WARNING SIGN
	CATCH BASIN
	POST
	SIGN
	ELEC BOX
	PEDESTAL
	UTILITY MANHOLE
	HANDHOLE
	SMALL CELL NODE SITE
	TREE
	FENCE
	WATER LINE
	SANITARY LINE
	STORM LINE
	STREET ROW
	UTILITY EASEMENT



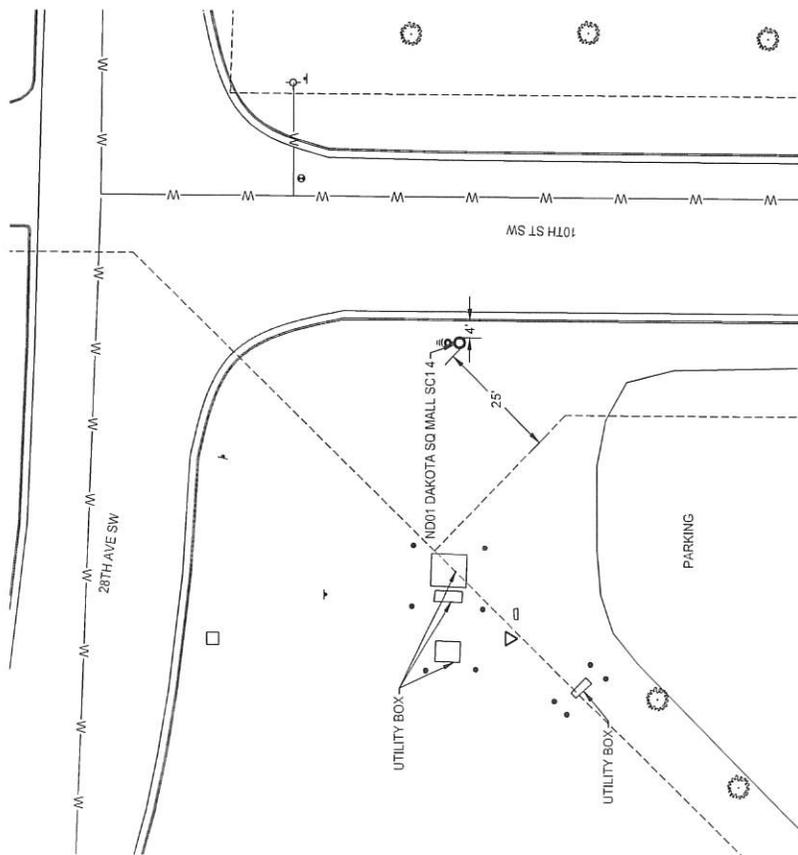


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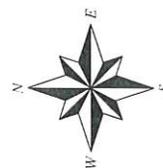


NODE SITE WEST VIEW

NODE LAT/LONG DATA			
POLE ID	LATITUDE (NAD83)	LONGITUDE (NAD83)	ELEVATION (NAVD88)
ND01 DAKOTA SQ MALL SC1.4	N 48° 12' 15.84"	W 101° 18' 24.90"	1748'

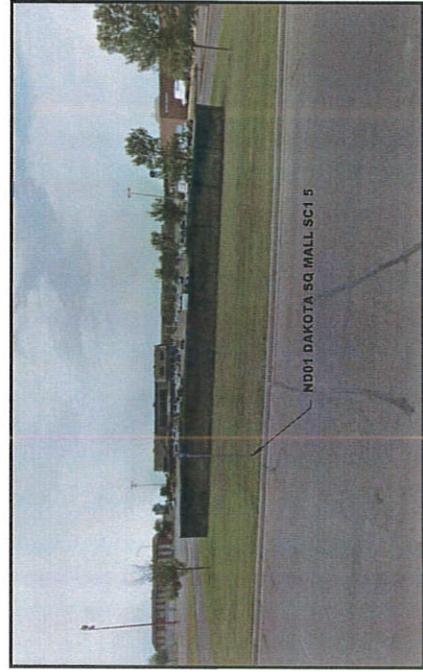


LEGEND	
	LIGHT POLE/STREET LIGHT
	POWER POLE
	FIRE HYDRANT
	GATE VALVE
	SANITARY MANHOLE
	STORM MANHOLE
	WARNING SIGN
	CATCH BASIN
	POST
	SIGN
	ELEC BOX
	PEDESTAL
	UTILITY MANHOLE
	HANDHOLE
	SMALL CELL NODE SITE
	TREE
	FENCE
	WATER LINE
	SANITARY LINE
	STORM LINE
	STREET ROW
	UTILITY EASEMENT



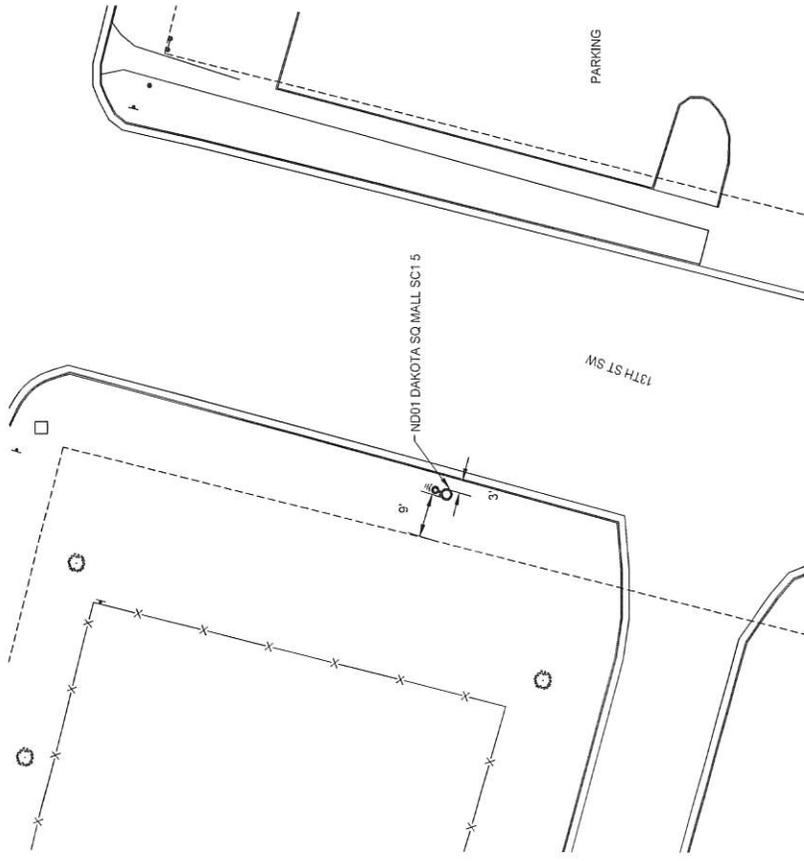


This document was originally issued and sealed by Dustin J Maier, Registration Number PE5039, on 12/21/16 and the original documents are stored at Kadmas, Lee & Jackson, Bismarck. This media should not be considered a certified document.



NODE SITE WEST VIEW

NODE LAT/LONG DATA			
POLE ID	LATITUDE (NAD83)	LONGITUDE (NAD83)	ELEVATION (NAVD88)
ND01 DAKOTA SQ MALL SC1 5	N 48°12'13.61"	W 101°18'41.96"	1756'



LEGEND	
	PEDESTAL
	UTILITY MANHOLE
	HANDHOLE
	SMALL CELL NODE SITE
	TREE
	FENCE
	WATER LINE
	SANITARY LINE
	STORM LINE
	STREET ROW
	UTILITY EASEMENT



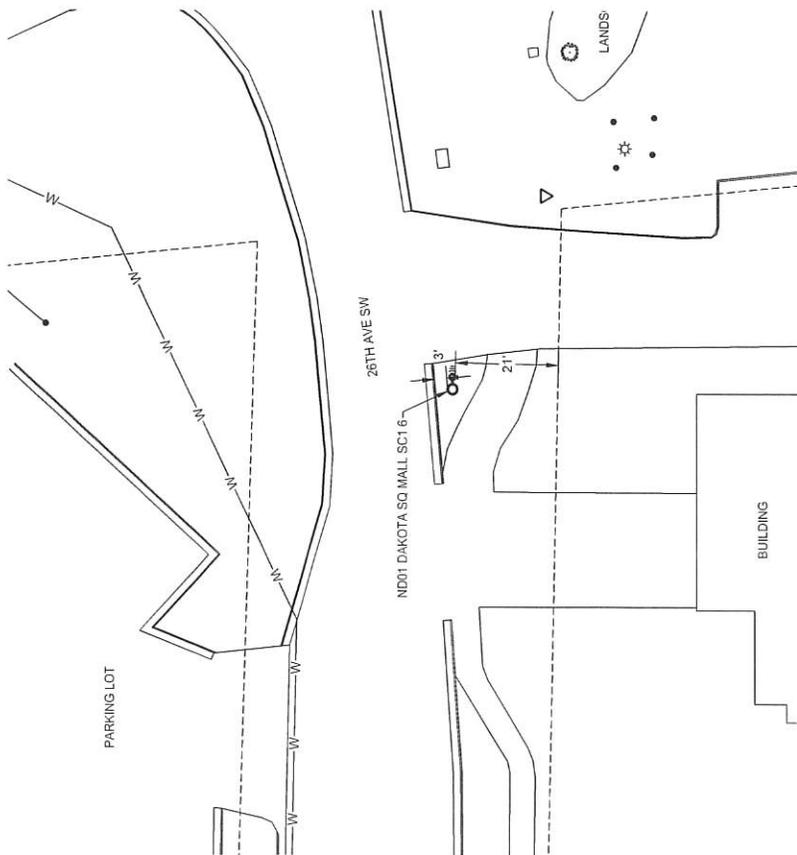


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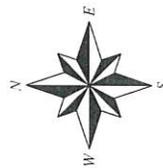


NODE SITE WEST VIEW

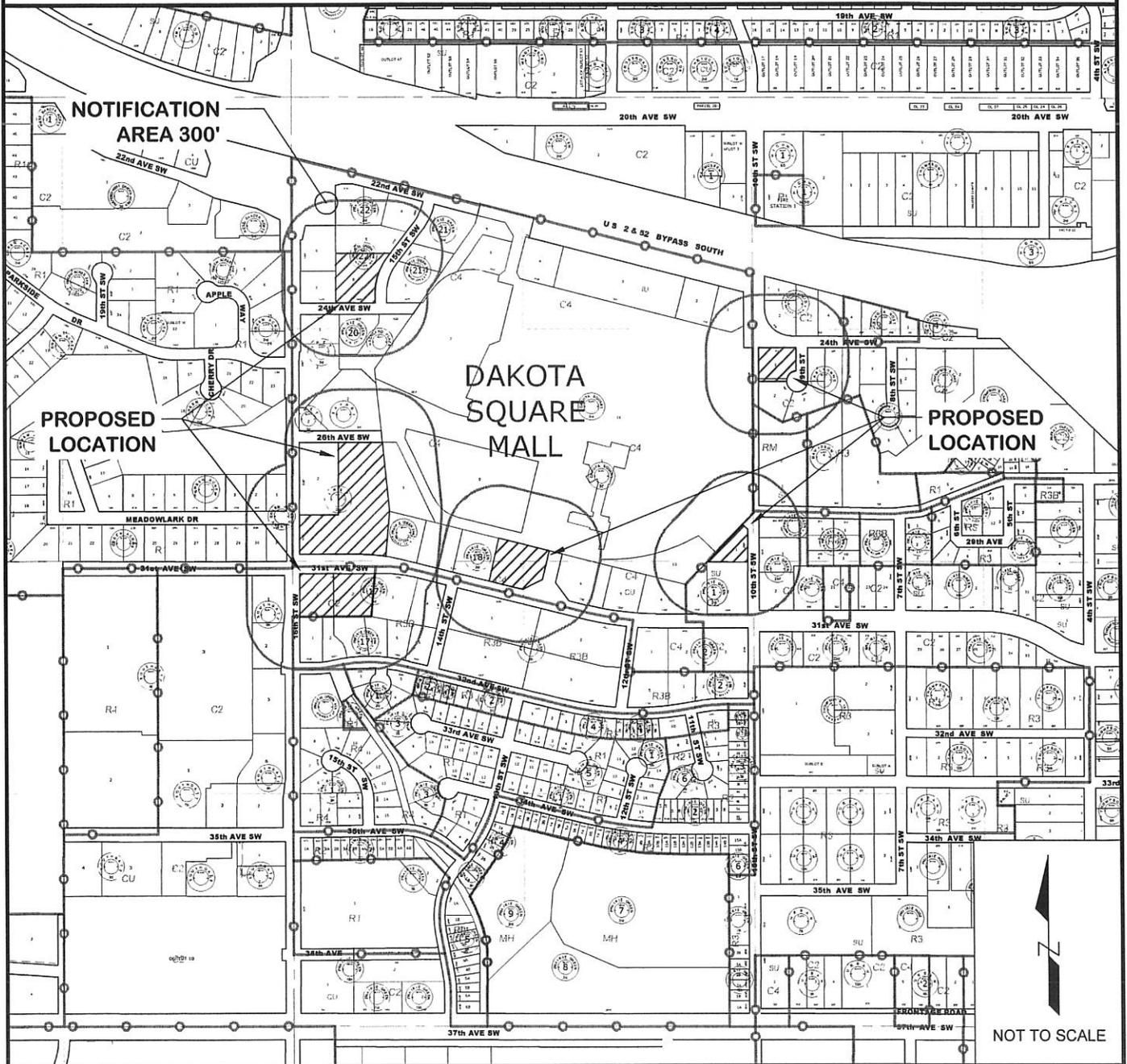
NODE LAT/LONG DATA			
POLE ID	LATITUDE (NAD83)	LONGITUDE (NAD83)	ELEVATION (NAD83)
ND01 DAKOTA SQ MALL SC1 6	N 48° 12' 20.77"	W 101° 18' 56.60"	1748'



LEGEND	
☼	LIGHT POLE/STREET LIGHT
⊕	POWER POLE
⊕	FIRE HYDRANT
⊕	GATE VALVE
⊕	SANITARY MANHOLE
⊕	SMALL CELL NODE SITE
⊕	TREE
⊕	FENCE
⊕	WARNING SIGN
⊕	CATCH BASIN
⊕	POST
⊕	SIGN
⊕	ELEC BOX
⊕	PEDESTAL
⊕	UTILITY MANHOLE
⊕	HANDHOLE
⊕	WATER LINE
⊕	SANITARY LINE
⊕	STORM LINE
⊕	STREET ROW
⊕	UTILITY EASEMENT



**PROPOSED CONDITIONAL USE PERMIT  
CARLSON'S ADDITION LOT 1;  
IRET 2ND ADDITION LOT 1;  
PRAIRIE GREEN 2ND ADDITION BLOCK 1 LOT 1,  
BLOCK 17 LOTS 1 & 2, AND BLOCK 18 LOT 9; AND  
REARRANGEMENT OF LOTS 5 AND 8, BLOCK 22,  
PRAIRIE GREEN 2ND ADDITION, LOT 8  
CITY OF MINOT, NORTH DAKOTA**



<b>Meeting Date:</b>	01/30/2017	<b>Item #:</b>	2
<b>Project #:</b>	8017-1.2	<b>Staff Recommendation:</b>	APPROVAL
<b>Development Title:</b>	Rezoning of Highlander Estates Subdivision, Lot 13		
<b>Current Legal Description:</b>	Lot 13, Highlander Estates Subdivision		
<b>Address: (if applicable)</b>	Northwest Corner of the Intersection of 37 <sup>th</sup> Avenue SW and 23 <sup>rd</sup> Street SW		
<b>Current Zoning:</b>	R-4	<b>Proposed Zoning:</b>	C1
<b>Guided Use:</b>	"General Mixed Use" to be Amended to "Neighborhood Commercial"		

**Applicant/Owner:** Todd Berning / Magic Meadows, LLC  
PO Box 879, Minot ND 58702  
(701) 852-3045 headroom@minot.com

**Rep/Contractor:** Trevor Tharaldson / AE2S  
1115 16<sup>th</sup> Street SW, Suite 2, Minot 58701  
(701) 729-2552 Trevor.Tharaldson@AE2S.com

**Zoning Ordinance Ref:** Section 30-5; Text Amendments and Zoning District Changes  
Chapter 10; "C1, Neighborhood Commercial District"

### EXECUTIVE SUMMARY AND CITY STAFF CONSIDERATIONS:

#### SUMMARY/CONDITIONS/ISSUE:

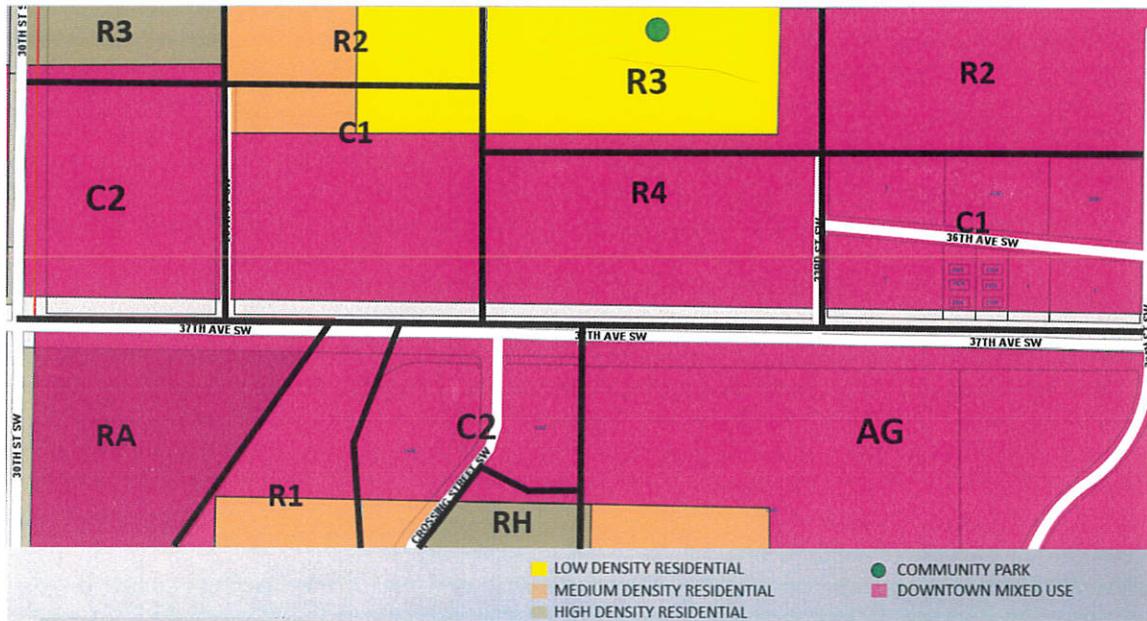
The applicant is requesting rezoning of a 15 plus acre parcel with frontage on the arterial street 37<sup>th</sup> Avenue SW and a local street, 23<sup>rd</sup> Street SW on the east side of the parcel. The applicant has requested a zone change for the site to accommodate general office buildings similar to the developed property on the east side of 23<sup>rd</sup> Street SW. The requested zone change is from R-4 to C1. The future land use plan shows this parcel as "General Mixed Use" but the proposed use is office buildings, so the map will be changed to "Neighborhood Commercial." Apparently, it is the developer's intent to replat this lot in the future as part of a new subdivision that will be called Magic Meadows. City Staff recommends approval of the rezoning request and the amendment to the comprehensive plan subject to the following conditions:

1. Traffic impact study is required before development can begin and required improvements must be constructed by the developer.
2. Storm water management plan must be submitted to and approved by the city engineer.
3. Elevation certificates are required for parcels within the 100 year floodplain. Buildings must be elevated per city ordinance requirements.
4. Utility connection fees must be paid.
5. Sidewalks are required along all platted right of ways.
6. Developer's agreement with the city of Minot is required to be approved and recorded when future replatting occurs or prior to development of Lot 13.

## PROJECT DESCRIPTION:

**REQUEST(S):** The applicant is requesting rezoning of a single lot containing approximately 15.99 acres from R-4, Planned Residence District to C1, Neighborhood Commercial District. This rezoning request prompts consideration of the Future Land Use Map of the Comprehensive Development Plan which indicates this property is categorized as “General Mixed Use.” (See map below.) The map shall be amended to “Neighborhood Commercial.”

Future Land Use Map with current zoning district boundaries



## FINDINGS OF FACT:

### Finding of Facts:

1. The subject property is currently zoned R-4, a residential zoning district.
2. The owner does not wish to pursue residential development of this parcel, rather the proposed use is general office.
3. The parcel must be rezoned to accommodate the proposed use from R-4 to C1.
4. The zone change prompts an amendment to the future land use map.
5. The parcel is bounded on three sides by commercial zoning and to the east, the commercial property is developed in a similar manner as to what the owner proposes here.
6. With the future hospital site to the immediate south and anticipated residential and commercial development in this area, staff foresees this area to provide a mix of uses and the neighborhood commercial zoning for this site is appropriate for that mix of uses.
7. The parcel is located on an arterial roadway, a well suited site for commercial development.

**Conditions** (if approved): All conditions should be listed.

1. Traffic impact study is required before development can begin and required improvements must be constructed by the developer.
2. Storm water management plan must be submitted to and approved by the city engineer.
3. Elevation certificates are required for parcels within the 100 year floodplain. Buildings must be elevated per city ordinance requirements.
4. Utility connection fees must be paid.
5. Sidewalks are required along all platted right of ways.
6. Developer's agreement with the city of Minot is required to be approved and recorded when future replatting occurs or prior to development of Lot 13.

#### DEVELOPMENT SUMMARY CHART:

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<b>Site Area:</b>	696,745 SF or 15.99 acres.
<b>Building Area:</b>	No development proposal at this time, Max allowable area 584,812 SF.
<b>Green Area Required:</b>	Yes, twenty-five (25) foot rear setback and landscaped buffer against existing R-3 zone to the north.
<b>Green Area Proposed:</b>	No proposal.
<b>Parking Required:</b>	Office use requires three (3) spaces per one thousand (1,000) SF of floor area.
<b>Parking/ Loading Proposed:</b>	No proposal.

#### PLANNING DEPARTMENT CONSIDERATIONS

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##### **CURRENT ZONING, LAND USES & RELATIONSHIP TO THE COMPREHENSIVE PLAN:**

**NOTE:** The property under consideration is currently zoned R-4, "Planned Residence District" and is guided on the Future Land Use Plan "General Mixed Use." The land use type listed in the public notice is in error. It is shown as "Downtown Mixed Use" when in reality it is "General Mixed Use." The public notice also show the proposed amendment to the future land use map to be "Commercial" when it should be "Neighborhood Commercial." The proposed uses will be in general compliance with the Comprehensive Plan once the Future Land Use Map is amended to "Neighborhood Commercial."

The current R-4 zoning is one of the districts that was removed from the zoning ordinance when it was adopted in 2013. However, there are properties out there, like this one, that are zoned as such from previous rezoning requests (no new rezoning to R-4 is allowed). It is beneficial that the developer is taking the initiative to rezone the property to C1 to build office space as that action effectively removes the defunct R-4 zone from this property.

The abutting land to the north is currently zoned R-3 "Multiple Residence District", another zone that was removed from the ordinance in 2013. Development standards for property that is currently zoned R-3 are "replaced" by those in the RM "Medium Density Residential District." A landscaped bufferyard and a twenty-five foot rear setback will be required when the subject property is developed with office buildings because of the abutting R-3 zoning. The new hospital project for Trinity Health Systems is going in across 37<sup>th</sup> Avenue SW to the south of the subject property. On both the east and west sides of this site, the existing zoning is C1. The east parcel is developed with existing offices, at least in part. Therefore, the requested C1 zoning is compatible with the surrounding zoning and land uses.

**BUILDING MATERIALS AND ARCHITECTURE / LANDSCAPING AND BUFFER SCREENING PLANS:**

No building proposal at this time. As previously mentioned, a landscaped buffer yard will be required along the north property line of the subject property due to the abutting residential zoning in addition to other commercial landscape requirements.

**ENGINEERING AND PUBLIC WORKS DEPARTMENT CONSIDERATIONS:**

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**TRAFFIC AND TRANSPORTATION PLAN/REQUIREMENTS:**

A Traffic Study is required and must be approved by the Traffic Engineer prior to issuance of any building permits.

**STORM WATER MANAGEMENT PLAN/REQUIREMENTS:**

Storm Water Management Plans are required and must be approved by the City Engineer prior to issuance of any building permits.

**EROSION CONTROL PLAN/REQUIREMENTS:**

Erosion Control practices will need to meet the state of North Dakota requirements and approved by the City Engineer prior to issuance of any building permits.

**CITY AND RURAL UTILITY PLAN/REQUIREMENTS:**

Public Utility Fees must be paid.

**SIDEWALK REQUIREMENTS:**

Sidewalks are required.

NORTH



0 200  
Scale in Feet

NOTES:

FOR PLANNING AND REZONING PURPOSES ONLY

BEARING AND DISTANCES MAY VARY FROM PREVIOUS PLATS DUE TO DIFFERENT METHODS OF MEASUREMENTS

EASEMENTS:

1. EASEMENT IN FAVOR OF NORTHERN STATE POWER COMPANY - BOOK 154 PAGE 53
2. EASEMENT IN FAVOR OF CENTRAL POWER ELECTRICAL COOP - BOOK 218 PAGE 267

HIGHLANDER ESTATES SUBDIVISION

LOT 8

R-2

LOT 11

LOT 12

100 YEAR FLOOD PLAN PER CITY OF MINOT FLOOD INSURANCE STUDY REPORT DATED JUNE 03, 2002

APPROXIMATE FEMA ZONE A BOUNDARY PER FIRM PANEL 779 DATED JAN 19, 2000

R-3

R-2

1166.12'

30' STORMWATER & DRAINAGE EASEMENT

LOT 10

567.49'

### HIGHLANDER ESTATES SUBDIVISION LOT 13

LOT 14

567.49'

23rd Street SW

C-1

C-1

1166.12'

10' EASEMENT PER 1

37th Avenue SW

30' EASEMENT PER 2

75'

75'

AG

TRINITY HEALTH ADDITION  
LOT 1



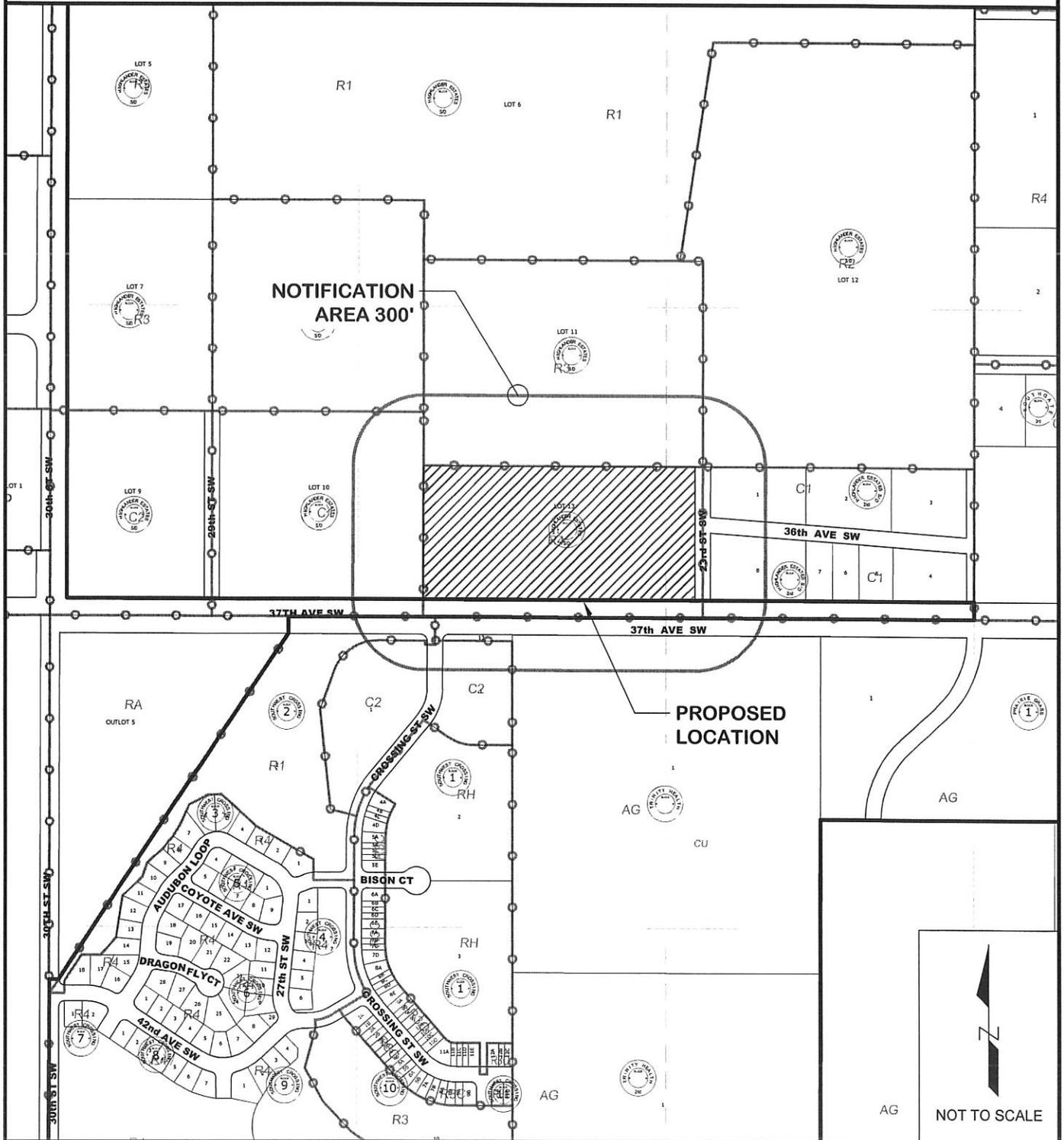
FUTURE MAGIC MEADOWS SUBDIVISION  
TO THE CITY OF MINOT, ND  
BEING HIGHLANDER ESTATES SUBDIVISION LOT 13

EXISTING SITE SURVEY

DRAWING TYPE PRELIMINARY	CHECKED / APPROVED TMT / TMT	SHEET 2 of 3
PREPARED BY TMT	DATE 12/2016	DRAWING 2
PROJECT NUMBER P08113-2014-009		

# PROPOSED ZONE CHANGE HIGHLANDER ESTATES SUBDIVISION LOT 13

CITY OF MINOT, NORTH DAKOTA



MAP CREATED DECEMBER 19, 2016

<b>Meeting Date:</b>	01/30/2017	<b>Item #:</b>	5
<b>Project #:</b>	8017-1.5	<b>Staff Recommendation:</b>	<b>APPROVAL</b>
<b>Development Title:</b>	Land Use Map Amendment, Rezoning, and Subdivision for Southeast Ridge Business Park Addition Outlot 19 less Lots A, B, and C, Section 29, Township 155 North, Range 82 West, and Lots 16 and 17, Block 1, Southeast Ridge Business Park Addition, Block 2 less the east 197.45 feet plus vacated 13 <sup>th</sup> Avenue SE and all of vacated 15 <sup>th</sup> Avenue		
<b>Current Legal Description:</b>	SE of Feist Subdivision of a portion of Gold Nugget Addition.		
<b>Address: (if applicable)</b>	South of 13th Avenue SE and East of 35 <sup>th</sup> Street SE		
<b>Current Zoning:</b>	MH	<b>Proposed Zoning:</b>	M1
<b>Guided Use:</b>	"Medium Density Residential" to be Amended to "Industrial"		

**Applicant/Owner:** Danny Schatz  
1712 20<sup>th</sup> Avenue SE, Minot  
(701) 852-0810

**Rep/Contractor:** Sean Weeks / Ackerman-Estvold  
1907 17<sup>th</sup> Street SE, Minot  
(701) 837-8737      sean.weeks@ackerman-estvold.com

**Zoning Ordinance Ref:** Section 30-5; Text Amendments and Zoning District Changes  
Chapter 14; "M1, Light Industrial District"  
Chapter 28; Land Subdivision Regulations

### EXECUTIVE SUMMARY AND CITY STAFF CONSIDERATIONS:

#### SUMMARY/CONDITIONS/ISSUE:

The lots are arranged around a loop road. The proposed lots range in size from the minimum required 10,000 square feet up to 22,000 square feet (the detention lot is 350, 944 square feet.) All the lots meet or exceed the required minimum lot width of fifty feet (50') and minimum lot depth of one hundred feet (100'). Required easements are shown on the plat. A 34-foot wide easement for access and utilities is shown on the west side of the subdivision straddling Lots 10 and 11. (See plat map) This easement connects the subdivision to 35<sup>th</sup> Street SE. Even though only half of the road right-of-way is platted for 35<sup>th</sup> Street SE, a driveway is present in this location which could provide a secondary means of access into the new subdivision for emergency services like fire trucks. A 20-foot wide power easement traverses the site roughly northwest to southeast reducing the amount of buildable area on proposed Lot 10 substantially. A 20-foot wide sanitary sewer easement enters the site from the west and then cuts diagonally to the southeast. This easement contains a 24-inch sanitary sewer force main that runs to a sewage lift station off-site. A typical 10-foot utility

easement will be reserved along the street frontage of each lot and a 20-foot access easement follows the westerly property line of the stormwater lot to provide maintenance access. All proposed water and sanitary sewer lines will connect to existing sanitary and water mains located in Southeast Ridge Business Park Addition to the east.

The buildings constructed here will be typical metal shop buildings with overhead and walk doors, a bathroom and perhaps some office space, or not depending on the owners desires. As each individual lot develops, required development standards for landscaping, off-street parking, etc., will be addressed with the building permit application. With the existing light industrial zoning to the east of this parcel and limited access and exposure from the street network and the presence of the river, the proposed development is a good fit for the area.

Staff recommends approval of the rezoning, the Land Use Map Amendment and the subdivision to be known as Southeast Ridge Business Park 2<sup>nd</sup> Addition, subject to the conditions listed below.

## FINDINGS OF FACT:

### Finding of Facts:

1. The subject property is currently zoned MH, residential manufactured home district.
2. The adjacent property to the east and southeast is currently zoned M1 and partially developed. The property to the north is zoned MH and contains a large manufactured home park. The property to the west is zoned C2 and is vacant on the east end but there are manufactured homes on the west two-thirds or so of the property.
3. The owner does not wish to pursue residential development of this parcel, rather the proposed use is for an industrial subdivision with shop buildings.
4. The parcel must be rezoned to accommodate the proposed use from MH to M1.
5. The zone change prompts an amendment to the future land use map.
6. Given the location of this parcel tucked away behind a large manufactured home park, and bounded by the Souris River along the south and southwest sides, this parcel is not well suited for commercial development, but is appropriate for light industrial development as proposed.

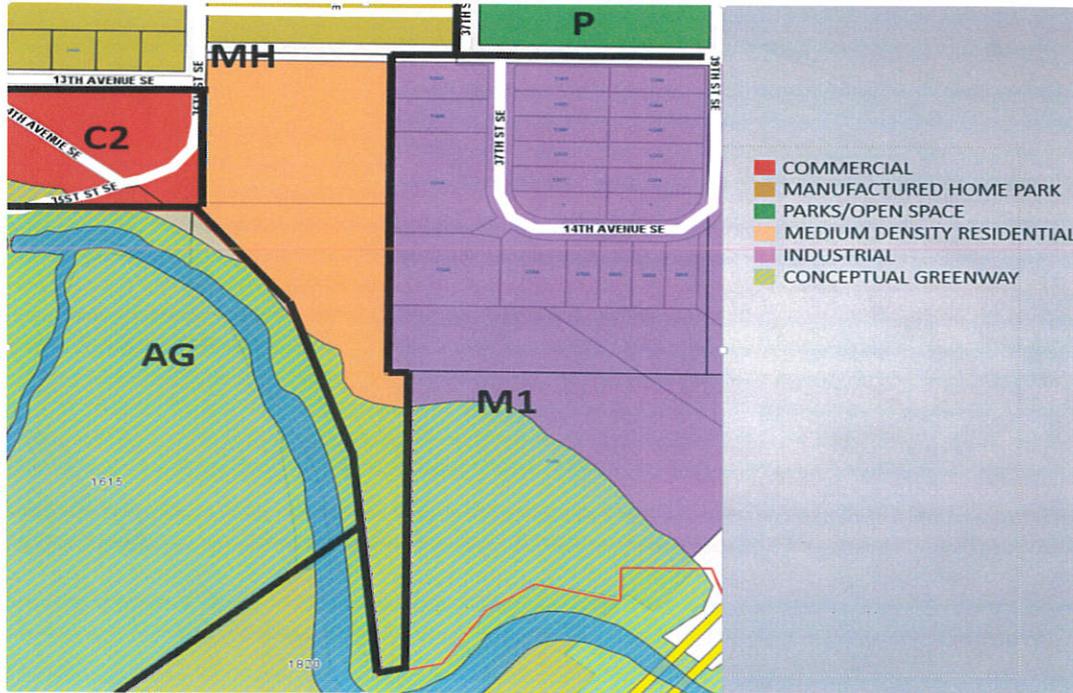
### Conditions (if approved): All conditions should be listed.

1. Traffic impact study is required and improvements must be constructed by the developer.
2. Stormwater Management Pplan must be submitted to and approved by the City Engineer. Storm sewer and pond improvements outside of public right of way must be owned and operated by the developer or a property owners association. Pond and outfall of Southeast Ridge Business Park Addition must be incorporated into the proposed improvements and agreements for Southeast Ridge Business Park 2<sup>nd</sup> Addition.
3. Additional 20' of permanent easement must be added to the existing sewer easement on Lot 7 Block 1.
4. Elevation certificates are required for parcels within the 100 year floodplain. Buildings must be elevated per city ordinance requirements .
5. Utility connection fees must be paid.
6. Developer's agreement with the city of Minot is required to be approved and recorded prior to recording of this plat.

**PROJECT DESCRIPTION:**

**REQUEST(S):** The applicant is requesting approvals to develop a light industrial subdivision to accommodate shop buildings for contractors who perform trade services such as plumbers, electricians, and HVAC businesses on a 19.5 acre tract in southeast Minot. The property needs to be rezoned to allow this use and consideration of the Future Land Use Map indicates that the map must be amended to accommodate the rezone. (See map below) Also, the land is to be subdivided into 25 lots, one of which is a large lot on the south end reserved for stormwater management.

**Future Land Use Map with current zoning district boundaries**



**DEVELOPMENT SUMMARY CHART:**

<b>Site Area:</b>	19.50 acres +/-
<b>Building Area:</b>	Varies by lot.
<b>Green Area Required:</b>	Landscaped buffer against MH park to the north and landscaping as required by the zoning ordinance at time of building permit.
<b>Green Area Proposed:</b>	No proposal. Each lot must meet landscape requirements.
<b>Parking Required:</b>	Each lot must meet parking requirements.
<b>Parking/ Loading Proposed:</b>	No proposal.

**PLANNING DEPARTMENT CONSIDERATIONS**

**CURRENT ZONING, LAND USES & RELATIONSHIP TO THE COMPREHENSIVE PLAN:**

**NOTE:** The property under consideration is currently zoned MH, Manufactured Home District as there is a large manufactured home park located north of the subject property. The owner has decided to pursue an

industrial development instead, and there is existing light industrial zoning and land uses to the east and south east of the subject property. The rezoning to M1 and the corresponding change in land use designation to "Industrial" are appropriate for this site and intended use.

**BUILDING MATERIALS AND ARCHITECTURE / LANDSCAPING AND BUFFER SCREENING PLANS:**

These items will be reviewed as each individual lot makes application for a building permit.

**ENGINEERING AND PUBLIC WORKS DEPARTMENT CONSIDERATIONS:**

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**TRAFFIC AND TRANSPORTATION PLAN/REQUIREMENTS:**

A Traffic Study is required and must be approved by the Traffic Engineer.

**STORM WATER MANAGEMENT PLAN/REQUIREMENTS:**

Storm Water Management Plans are required and must be approved by the City Engineer.

**EROSION CONTROL PLAN/REQUIREMENTS:**

Erosion Control practices will need to meet the state of North Dakota requirements and approved by the City Engineer prior to issuance of any building permits.

**CITY AND RURAL UTILITY PLAN/REQUIREMENTS:**

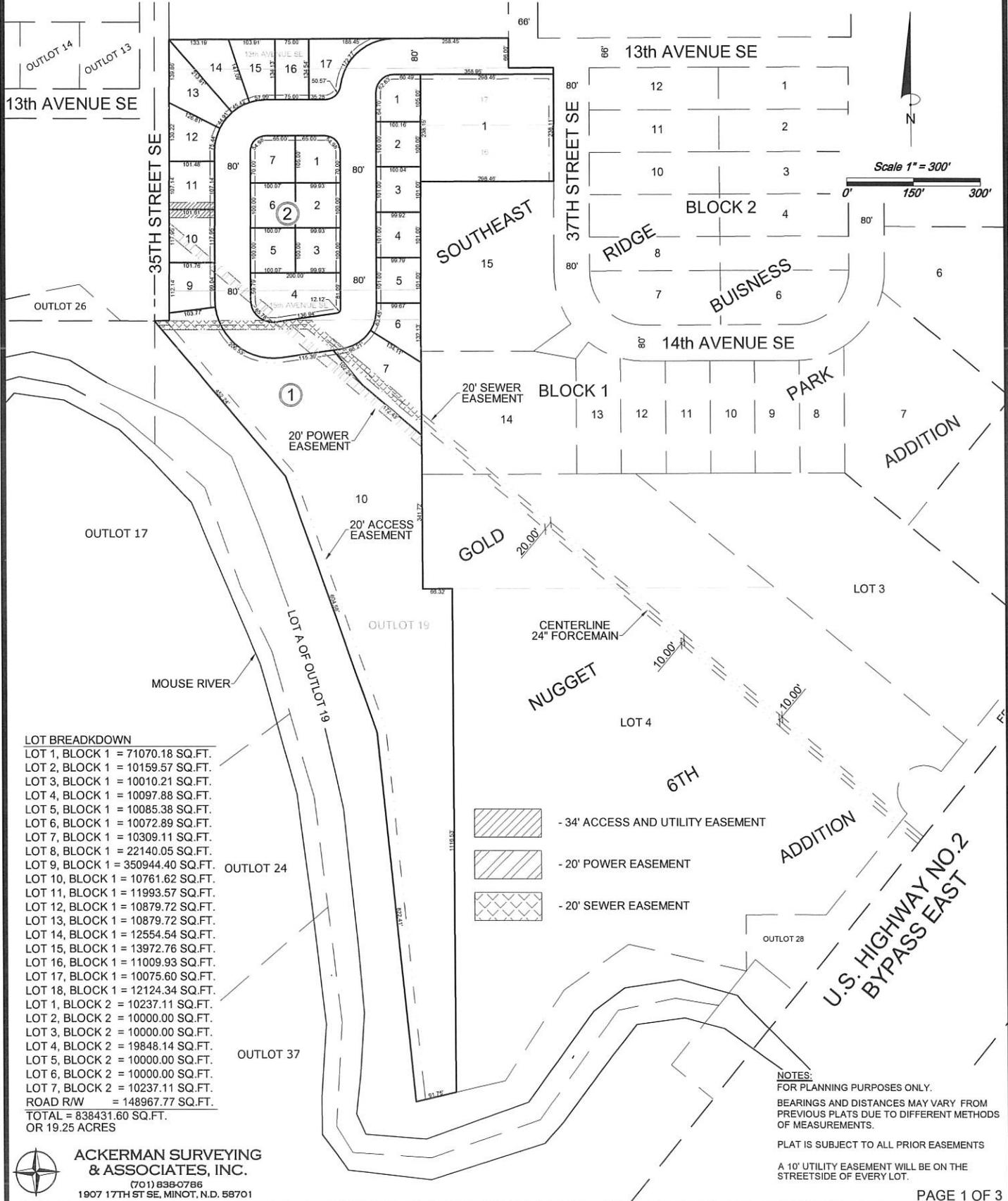
Public Utility Fees must be paid.

**SIDEWALK REQUIREMENTS:**

Sidewalks are required.

# PRELIMINARY PLAT OF SOUTHEAST RIDGE BUSINESS PARK 2ND ADDITION

TO THE CITY OF MINOT, NORTH DAKOTA  
(BEING OUTLOT 19 LESS LOTS A, B AND C, SECTION 29, TOWNSHIP 155 NORTH, RANGE 82 WEST,  
WARD COUNTY, NORTH DAKOTA, LOTS 16 & 17, BLOCK 1, SOUTHEAST RIDGE BUSINESS PARK ADDITION,  
BLOCK 2 LESS THE EAST 197.45 FEET PLUS VACATED 13TH & ALL OF VACATED 15TH AVE SE OF FEIST SUBDIVISION  
OF A PORTION OF GOLD NUGGET ADDITION TO THE CITY OF MINOT, NORTH DAKOTA)



**LOT BREAKDOWN**

LOT 1, BLOCK 1 = 71070.18 SQ.FT.
LOT 2, BLOCK 1 = 10159.57 SQ.FT.
LOT 3, BLOCK 1 = 10010.21 SQ.FT.
LOT 4, BLOCK 1 = 10097.88 SQ.FT.
LOT 5, BLOCK 1 = 10085.38 SQ.FT.
LOT 6, BLOCK 1 = 10072.89 SQ.FT.
LOT 7, BLOCK 1 = 10309.11 SQ.FT.
LOT 8, BLOCK 1 = 22140.05 SQ.FT.
LOT 9, BLOCK 1 = 350944.40 SQ.FT.
LOT 10, BLOCK 1 = 10761.62 SQ.FT.
LOT 11, BLOCK 1 = 11993.57 SQ.FT.
LOT 12, BLOCK 1 = 10879.72 SQ.FT.
LOT 13, BLOCK 1 = 10879.72 SQ.FT.
LOT 14, BLOCK 1 = 12554.54 SQ.FT.
LOT 15, BLOCK 1 = 13972.76 SQ.FT.
LOT 16, BLOCK 1 = 11009.93 SQ.FT.
LOT 17, BLOCK 1 = 10075.60 SQ.FT.
LOT 18, BLOCK 1 = 12124.34 SQ.FT.
LOT 1, BLOCK 2 = 10237.11 SQ.FT.
LOT 2, BLOCK 2 = 10000.00 SQ.FT.
LOT 3, BLOCK 2 = 10000.00 SQ.FT.
LOT 4, BLOCK 2 = 19848.14 SQ.FT.
LOT 5, BLOCK 2 = 10000.00 SQ.FT.
LOT 6, BLOCK 2 = 10000.00 SQ.FT.
LOT 7, BLOCK 2 = 10237.11 SQ.FT.
ROAD R/W = 148967.77 SQ.FT.
TOTAL = 838431.60 SQ.FT. OR 19.25 ACRES

- 34' ACCESS AND UTILITY EASEMENT
- 20' POWER EASEMENT
- 20' SEWER EASEMENT

**NOTES:**  
FOR PLANNING PURPOSES ONLY.  
BEARINGS AND DISTANCES MAY VARY FROM  
PREVIOUS PLATS DUE TO DIFFERENT METHODS  
OF MEASUREMENTS.

PLAT IS SUBJECT TO ALL PRIOR EASEMENTS

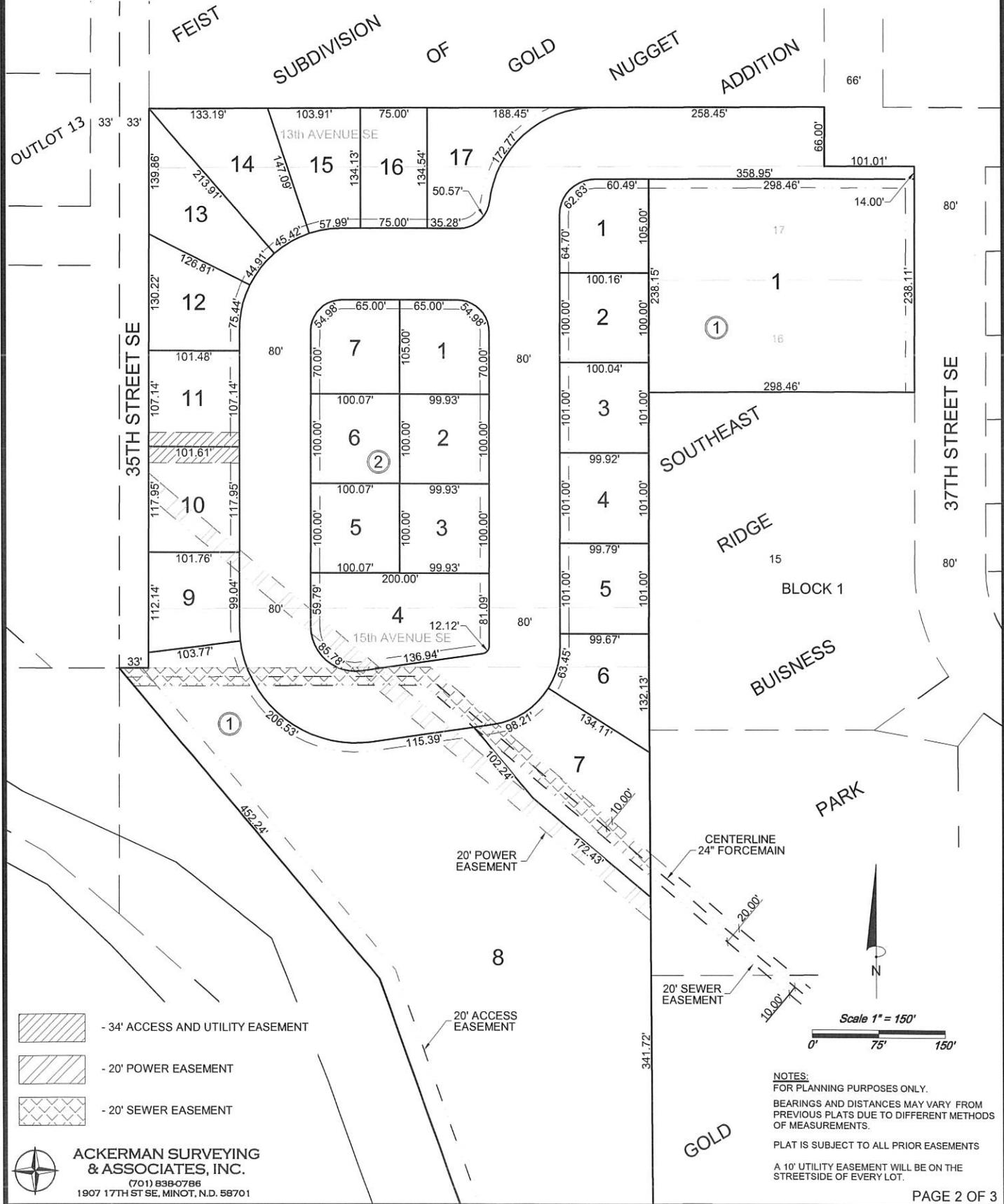
A 10' UTILITY EASEMENT WILL BE ON THE  
STREETSIDE OF EVERY LOT.



**ACKERMAN SURVEYING  
& ASSOCIATES, INC.**  
(701) 838-0786  
1907 17TH ST SE, MINOT, N.D. 58701

# PRELIMINARY PLAT OF SOUTHEAST RIDGE BUSINESS PARK 2ND ADDITION

TO THE CITY OF MINOT, NORTH DAKOTA  
(BEING OUTLOT 19 LESS LOTS A, B AND C, SECTION 29, TOWNSHIP 155 NORTH, RANGE 82 WEST,  
WARD COUNTY, NORTH DAKOTA, LOTS 16 & 17, BLOCK 1, SOUTHEAST RIDGE BUSINESS PARK ADDITION,  
BLOCK 2 LESS THE EAST 197.45 FEET PLUS VACATED 13TH & ALL OF VACATED 15TH AVE SE OF FEIST SUBDIVISION  
OF A PORTION OF GOLD NUGGET ADDITION TO THE CITY OF MINOT, NORTH DAKOTA)



**ACKERMAN SURVEYING & ASSOCIATES, INC.**  
(701) 838-0786  
1907 17TH ST SE, MINOT, N.D. 58701

**NOTES:**  
FOR PLANNING PURPOSES ONLY.  
BEARINGS AND DISTANCES MAY VARY FROM PREVIOUS PLATS DUE TO DIFFERENT METHODS OF MEASUREMENTS.  
PLAT IS SUBJECT TO ALL PRIOR EASEMENTS  
A 10' UTILITY EASEMENT WILL BE ON THE STREETSIDE OF EVERY LOT.

This document, together with the concepts and designs depicted herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Ackerman Surveying & Associates, Inc. shall be without liability to Ackerman Surveying & Associates, Inc.

PRELIMINARY PLAT OF  
**SOUTHEAST RIDGE BUSINESS PARK 2ND ADDITION**

TO THE CITY OF MINOT, NORTH DAKOTA  
 (BEING OUTLOT 19 LESS LOTS A, B AND C, SECTION 29, TOWNSHIP 155 NORTH, RANGE 82 WEST,  
 WARD COUNTY, NORTH DAKOTA, LOTS 16 & 17, BLOCK 1, SOUTHEAST RIDGE BUSINESS PARK ADDITION,  
 BLOCK 2 LESS THE EAST 197.45 FEET PLUS VACATED 13TH & ALL OF VACATED 15TH AVE SE OF FEIST SUBDIVISION  
 OF A PORTION OF GOLD NUGGET ADDITION TO THE CITY OF MINOT, NORTH DAKOTA)

GOLD

66.32'

N

Scale 1" = 150'

0' 75' 150'

OUTLOT 17

LOT A OF OUTLOT 19

20' ACCESS EASEMENT

NUGGET

6TH

-  - 34' ACCESS AND UTILITY EASEMENT
-  - 20' POWER EASEMENT
-  - 20' SEWER EASEMENT

OUTLOT 24

MOUSE RIVER

1116.53'

ADDITION

OUTLOT 37

822.41'

91.75'

**NOTES:**  
 FOR PLANNING PURPOSES ONLY.  
 BEARINGS AND DISTANCES MAY VARY FROM  
 PREVIOUS PLATS DUE TO DIFFERENT METHODS  
 OF MEASUREMENTS.  
 PLAT IS SUBJECT TO ALL PRIOR EASEMENTS  
 A 10' UTILITY EASEMENT WILL BE ON THE  
 STREETSIDE OF EVERY LOT.

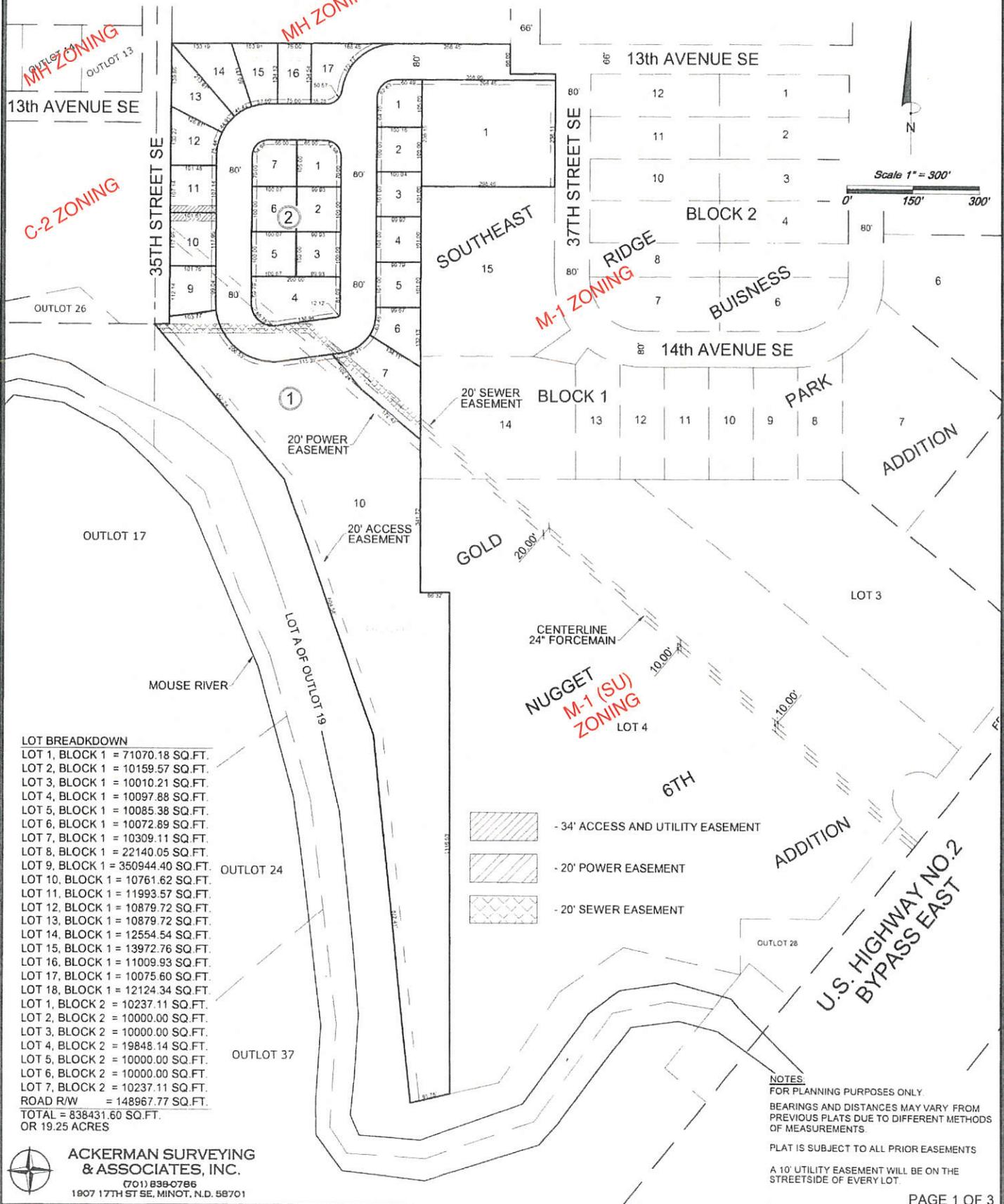


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 (701) 838-0786  
 1907 17TH ST SE, MINOT, N.D. 58701

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PRELIMINARY PLAT OF  
SOUTHEAST RIDGE BUSINESS PARK 2ND ADDITION

TO THE CITY OF MINOT, NORTH DAKOTA  
(BEING OUTLOT 19 LESS LOTS A, B AND C, SECTION 29, TOWNSHIP 155 NORTH, RANGE 82 WEST,  
WARD COUNTY, NORTH DAKOTA, LOTS 16 & 17, BLOCK 1, SOUTHEAST RIDGE BUSINESS PARK ADDITION,  
BLOCK 2 LESS THE EAST 197.45 FEET PLUS VACATED 13TH & ALL OF VACATED 15TH AVE SE OF FEIST SUBDIVISION  
OF A PORTION OF GOLD NUGGET ADDITION TO THE CITY OF MINOT, NORTH DAKOTA)



**LOT BREAKDOWN**

LOT 1, BLOCK 1	= 71070.18 SQ.FT.
LOT 2, BLOCK 1	= 10159.57 SQ.FT.
LOT 3, BLOCK 1	= 10010.21 SQ.FT.
LOT 4, BLOCK 1	= 10097.88 SQ.FT.
LOT 5, BLOCK 1	= 10085.38 SQ.FT.
LOT 6, BLOCK 1	= 10072.89 SQ.FT.
LOT 7, BLOCK 1	= 10309.11 SQ.FT.
LOT 8, BLOCK 1	= 22140.05 SQ.FT.
LOT 9, BLOCK 1	= 350944.40 SQ.FT.
LOT 10, BLOCK 1	= 10761.62 SQ.FT.
LOT 11, BLOCK 1	= 11993.57 SQ.FT.
LOT 12, BLOCK 1	= 10879.72 SQ.FT.
LOT 13, BLOCK 1	= 10879.72 SQ.FT.
LOT 14, BLOCK 1	= 12554.54 SQ.FT.
LOT 15, BLOCK 1	= 13972.76 SQ.FT.
LOT 16, BLOCK 1	= 11009.93 SQ.FT.
LOT 17, BLOCK 1	= 10075.60 SQ.FT.
LOT 18, BLOCK 1	= 12124.34 SQ.FT.
LOT 1, BLOCK 2	= 10237.11 SQ.FT.
LOT 2, BLOCK 2	= 10000.00 SQ.FT.
LOT 3, BLOCK 2	= 10000.00 SQ.FT.
LOT 4, BLOCK 2	= 19848.14 SQ.FT.
LOT 5, BLOCK 2	= 10000.00 SQ.FT.
LOT 6, BLOCK 2	= 10000.00 SQ.FT.
LOT 7, BLOCK 2	= 10237.11 SQ.FT.
ROAD R/W	= 148967.77 SQ.FT.
TOTAL	= 838431.60 SQ.FT.
	OR 19.25 ACRES

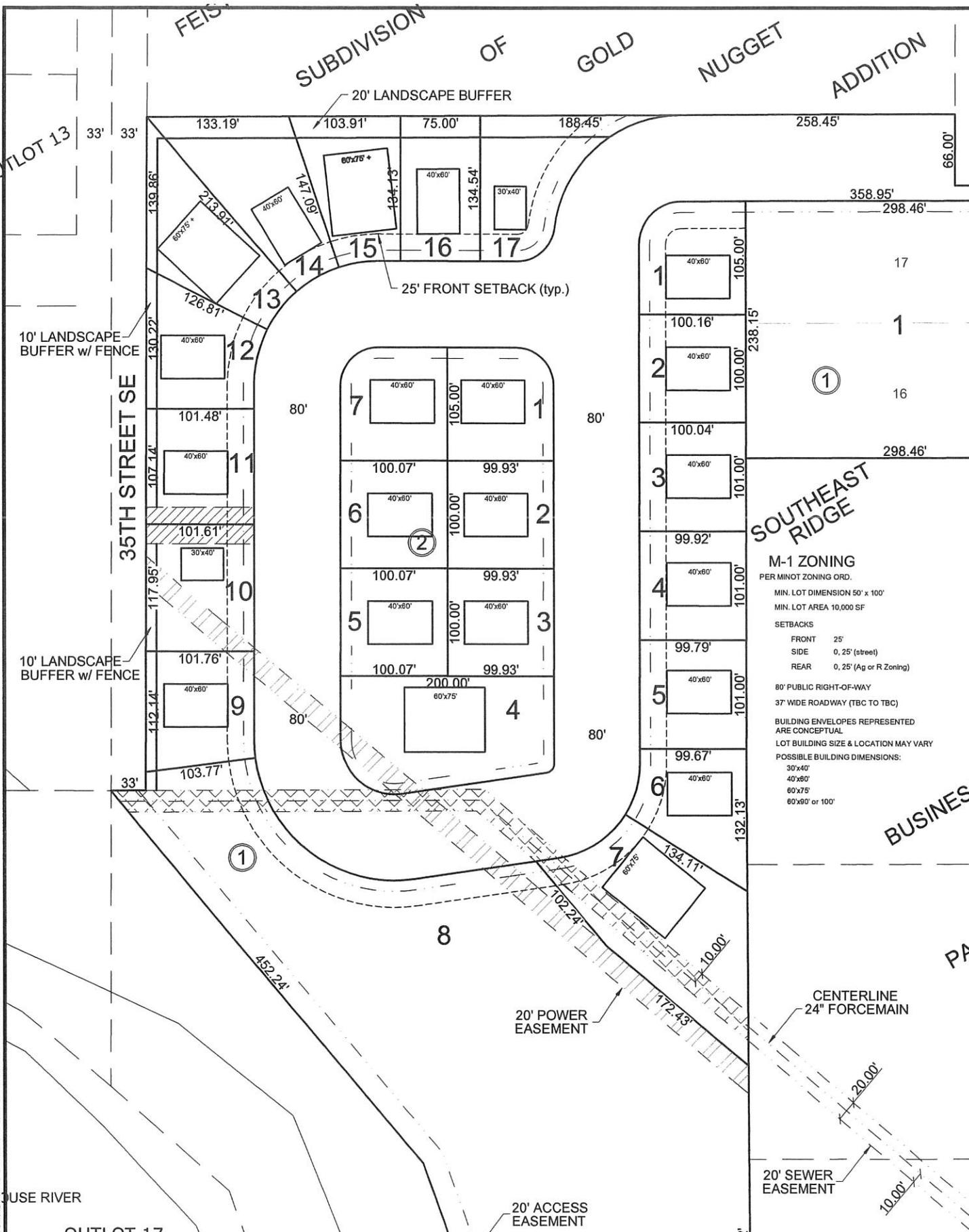
- 34' ACCESS AND UTILITY EASEMENT
- 20' POWER EASEMENT
- 20' SEWER EASEMENT

**NOTES:**  
FOR PLANNING PURPOSES ONLY  
BEARINGS AND DISTANCES MAY VARY FROM  
PREVIOUS PLATS DUE TO DIFFERENT METHODS  
OF MEASUREMENTS  
PLAT IS SUBJECT TO ALL PRIOR EASEMENTS  
A 10' UTILITY EASEMENT WILL BE ON THE  
STREETSIDE OF EVERY LOT.

**ACKERMAN SURVEYING  
& ASSOCIATES, INC.**  
(701) 838-0785  
1907 17TH ST SE, MINOT, N.D. 58701

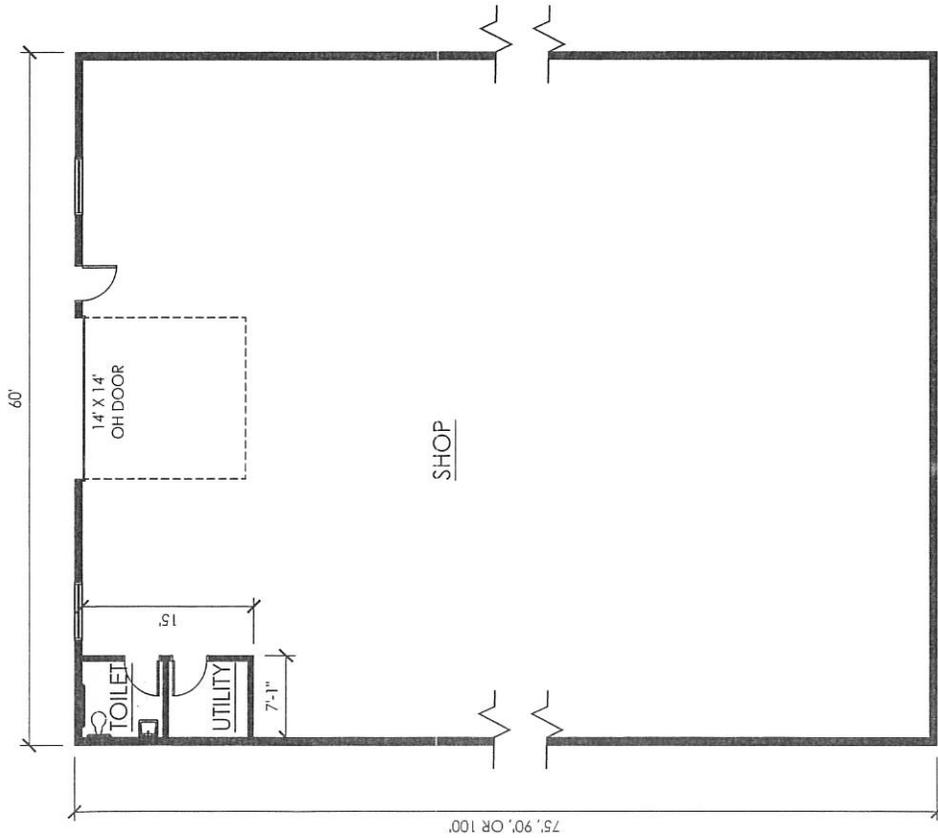
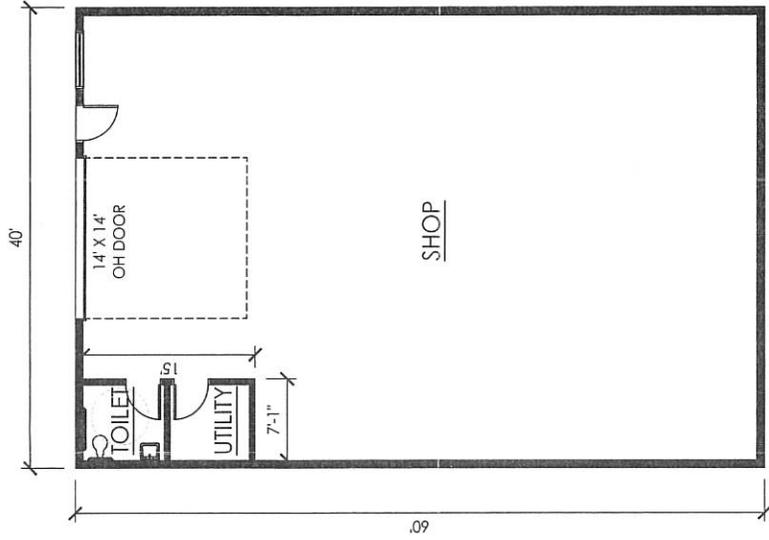
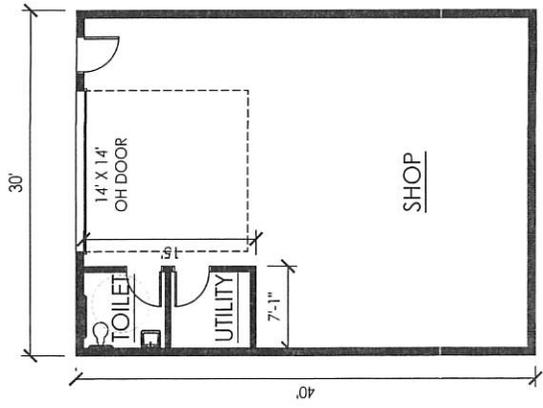
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FEIS SUBDIVISION OF GOLD NUGGET ADDITION

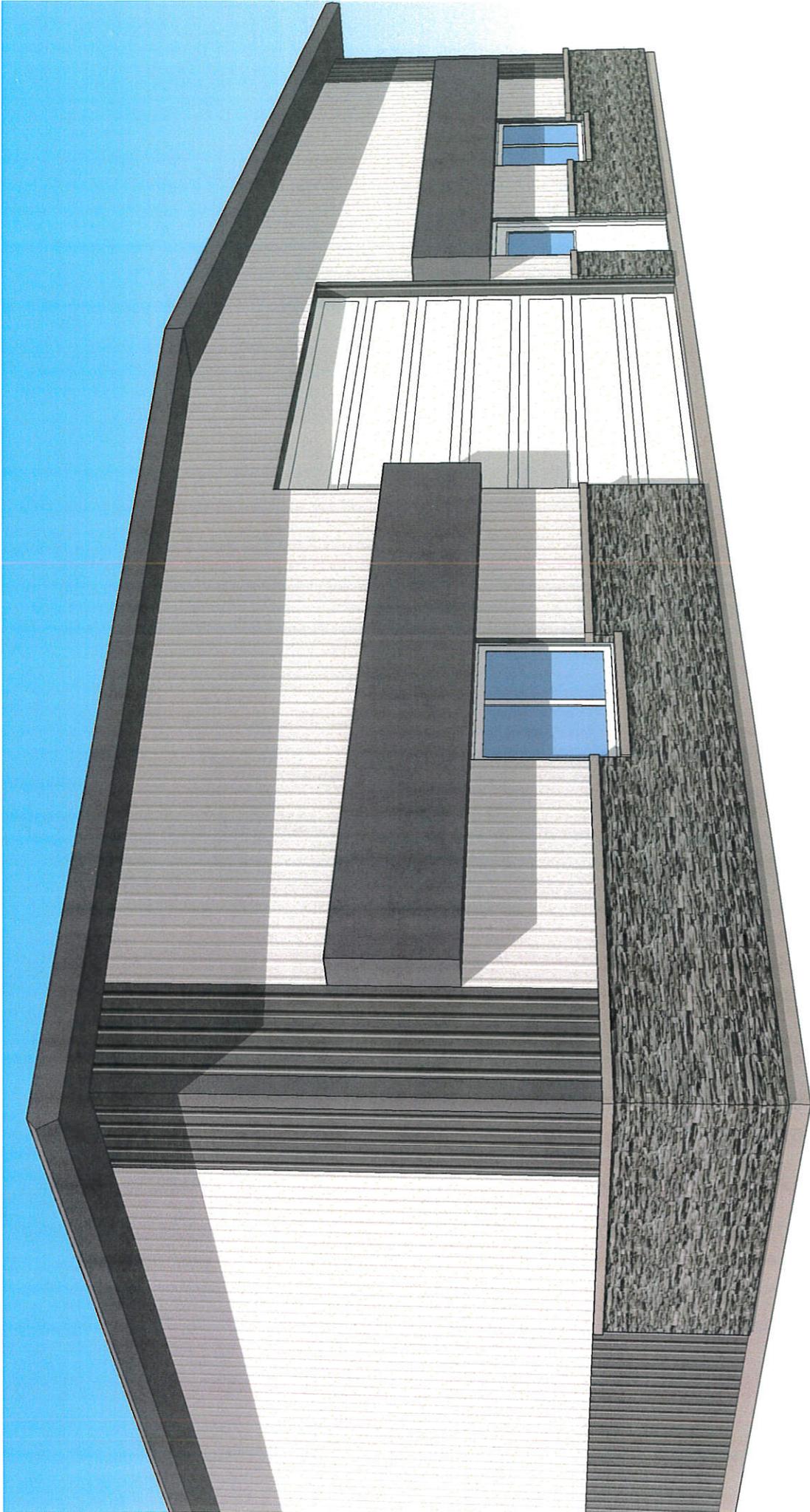


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PROJECT NO. R16055	SCALE (H): 1" = 120' SCALE (V): NTS	 <b>ACKERMAN ESTVOLD</b> 1907 17th Street Southeast · Minot, ND 58701 701.837.8737 · www.ackerman-estvold.com Minot, ND   Williston, ND	NO. REVISIONS	BY DATE APPR.
DRAWING NAME SE Ridge Bus. Park 2nd Add. SITE PLAN	DRAWN BY: SRW DESIGNED BY: SRW CHECKED BY: A-E			
DATE: 12/15/2016				

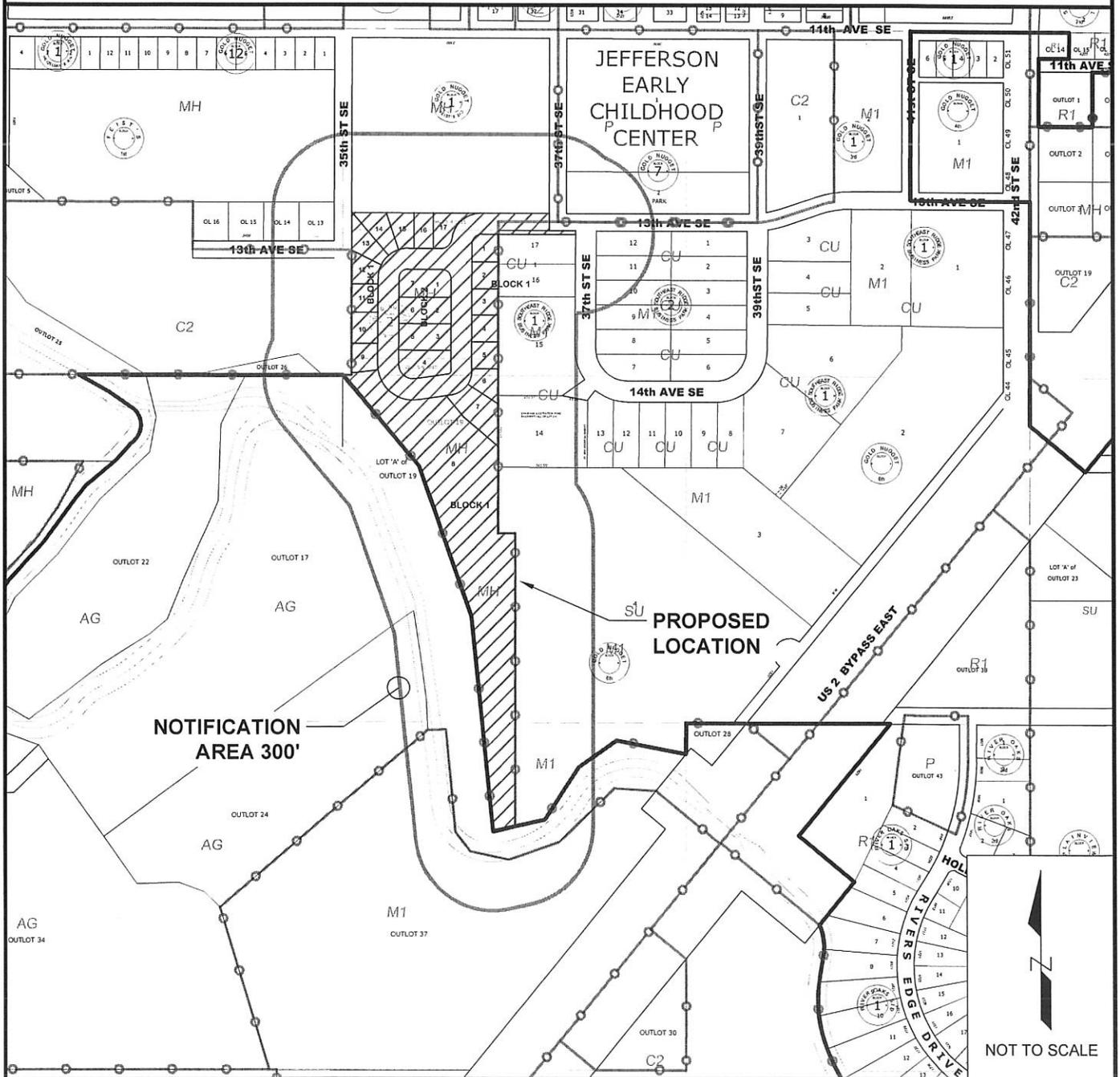






# PROPOSED SUBDIVISION BY PLAT, FUTURE LAND USE AMENDMENT, AND ZONE CHANGE SOUTHEAST RIDGE BUSINESS PARK 2ND ADDITION

BEING OUTLOT 19 LESS LOTS A, B, AND C, SECTION 29-155-82;  
LOTS 16 & 17, BLOCK 1, SOUTHEAST RIDGE BUSINESS PARK ADDITION;  
AND BLOCK 2 LESS THE EAST 197.45 FEET PLUS VACATED 13TH AND  
ALL OF VACATED 15TH AVE SE OF FEIST SUBDIVISION  
OF A PORTION OF GOLD NUGGET ADDITION  
CITY OF MINOT, NORTH DAKOTA



MAP CREATED DECEMBER 20, 2016

PLANNING COMMISSION  
Regular Meeting  
November 28, 2016  
Page 1 of 2

**Regular Meeting: Planning Commission Committee**

**Location:** City Hall, Council Chambers, 515 2nd Avenue SW, City of Minot, ND

**Meeting Called to Order:** November 28, 2016 at 6:30 p.m.

**Presiding Official:** Chairman, John Zimmerman

**City Clerk:** Kelly Matalka

**Members in Attendance:** Randy Bartsch, Matt Geinert, Jon Hanson, Pam Karpenko, Todd Koop, Jynette Larshus, Tyler Neether, Todd Wegenast, John Zimmerman

**Members Absent:** Wallace Berning, Jody Bullinger, Larry Holbach, Bob Wetzler

**City Staff Present:** Planning Director, Assistant City Planner, Acting City Manager, City Attorney, Airport Director, City Engineer, Asst. City Engineer, Building Official, Public Information Officer

**Others Present:** Aldermen Jantzer, Sipma, Straight.

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**Meeting Called to order by Chairman John Zimmerman**

**Approval of the October 31, 2016 Regular Meeting Minutes.**

Motion by Neether, seconded by Karpenko, to approve the October 31, 2016 regular meeting minutes with an amendment to Item #1, correcting the roll call vote to show Chairman Zimmerman voted no, and was carried by the following roll call vote: ayes: Bartsch, Geinert, Hanson, Karpenko, Koop, Larshus, Neether, Wegenast, Zimmerman. nays: none

**Motion passed**

**RECOMMENDATIONS**

**Item #1:**

**The application by LZ Holdings represented by Travis Zablotney, to subdivide Holbach Homestead, Lot 1 into 2 lots to be known as Holbach Homestead 2nd Addition, Lots 1 & 2 was pulled by the applicant.**

**Also, the application to annex into City limits proposed Holbach Homestead 2nd Addition, Lots 1 & 2 and adjacent 20th Ave SE right-of-way was pulled by the applicant.**

This property is located at 1915 Hwy 2 Bypass E.

## PLANNING COMMISSION

Regular Meeting

November 28, 2016

Page 2 of 2

### Findings of Fact:

1. The property contains existing improvements including two large buildings and the applicant would like to bring sanitary sewer service to the primary building located on proposed Lot 2.
2. In order to connect to City services the property must be annexed.
3. Proposed Lot 2 does not abut the existing City Limit line, but proposed Lot 1 does abut it. Therefore, both Lots 1 and 2 of Holbach Homestead 2nd addition shall be annexed into the City.

### Conditions:

1. Lot 1 and Lot 2 of proposed Holbach Homestead 2nd Addition shall be annexed into the corporate limits of the City of Minot and the existing building located on Lot 2 shall connect to City Sewer as per the approved design to City specifications and standards.

The applicant, Travis Zablotney, stated, the current septic system at the dealership has run its useful life and is in need of being replaced. He said he would like to connect to the City sewer system but was unaware that by doing so would require the property to be annexed by the City. He said he is willing to pay a higher rate to avoid the annexation and ideally would like the subdivision approved without the annexation.

The City Engineer explained, in order to connect to a City sewer system, he must comply with the City specs and regulations. One of those requirements is that the property be annexed into City limits. He added, the connection fees are based on acreage and are determined by City Council.

The City Attorney and Planning Director confirmed, there is no variance that would waive the annexation requirement.

Whereupon Mr. Zablotney stated, he will pull the item and go a different direction with a septic system.

### Other Business

**The City Council pass an ordinance amending Chapter 30 (Administrative Procedures), Subsections 30-2(H) (Variances), 30-3(E) (Conditional Use Permits), 30-5(C) And (I) (Text Amendments and Zoning District Changes), And 30-7(C) (Annexation) of the City of Minot Zoning Ordinances.**

Motion by Commissioner Wegenast, seconded by Commissioner Karpenko and was carried by the following roll call vote: ayes: Bartsch, Geinert, Hanson, Karpenko, Koop, Larshus, Neether, Wegenast, Zimmerman. nays: none

The Planning Director took a moment to welcome the new members of the Planning Commission, Randy Bartsch and Jynette Larshus.

Meeting adjourned at 6:53 pm.